

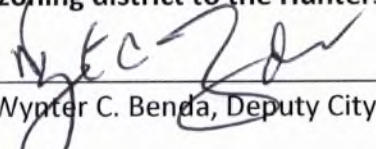


To the Honorable Council
City of Norfolk, Virginia

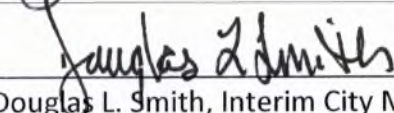
April 25, 2017

From: George M. Homewood, FAICP, CFM, Planning Director

Subject: **General Plan and Zoning amendments to adopt the *Norfolk Traditional Neighborhood Plan Book*, to create a new zoning district that applies development standards and by right development on nonstandard lots if using the Plan Book, and to apply the zoning district to the Huntersville area.**

Reviewed: 
Wynter C. Benda, Deputy City Manager

Ward/Superward: Citywide

Approved: 
Douglas L. Smith, Interim City Manager

Item Number: **PH-4**

I. **Staff Recommendation: Approval.**

II. **Commission Action:** The Planning Commission recommends **Approval**. (By a vote of 4-0 at the February 23, 2017 public hearing for the *plaNorfolk2030* amendment and a 7-0 vote at the March 23, 2017 public hearing for the creation and application of a new zoning district)

III. **Request:**

- a. To amend *plaNorfolk2030* to adopt by reference the *Traditional Neighborhood Plan Book* and add several actions in the Neighborhood chapter pertaining to the Huntersville area.
- b. To create a new zoning district (Single Family – Traditional).
- c. To rezone from Single Family R-8 district and Residential Compatibility Overlay (RCO) district to Single Family – Traditional in Huntersville area.

IV. **Applicant: City Planning Commission**

V. **Description:**

- The Norfolk Traditional Neighborhood Plan Book was developed to facilitate compatible, affordable infill development on “narrow lots” in the Huntersville area.
- The new zoning district, Single Family - Traditional (SF-T), would apply development standards to all single family development in Huntersville, regardless of lot size, and allow by right development on “narrow lots” when using the Plan Book.
- The change of zoning would remove the Residential Compatibility Overlay (RCO) from Huntersville and rezone those properties in Huntersville currently zoned R-8 to SF-T.

Staff point of contact: Paula M. Shea 664-4772, paula.shea@norfolk.gov

Attachments:

- Staff Reports to CPC dated February 23, 2017 and March 23, 2017 with attachments
- Proponents and Opponents
- Ordinance

Planning Commission Public Hearing: March 23, 2017

Executive Secretary: George M. Homewood, FAICP, CFM *JS*

Planner: Paula M. Shea, AICP *PS*

Staff Report	Item No. C-2	
Applicant	City Planning Commission	
Request	Zoning Ordinance Text Amendment	Amend Chapter 4 to include Single Family – Traditional (SF-T) district.
	Change of Zoning	Rezone from Single Family R-8 district and Residential Compatibility Overlay (RCO) district to Single Family – Traditional in Huntersville area.

A. Summary of Request

- This agenda item will create a new zoning district that applies the development standards in the *Norfolk Traditional Neighborhood Plan Book* ("Plan Book") and apply the zoning district to the Huntersville area.
 - Note that an associated General Plan amendment to adopt the Plan Book by reference was recommended for approval by a 4-0 vote by the City Planning Commission on February 23, 2017.
 - The proposed zoning text amendment will create a new zoning district, Single Family - Traditional (SF-T) which would apply development standards to all single family development in Huntersville, regardless of site size, and allow by right development on "narrow lots" when using the Plan Book.
 - The change of zoning would remove the Residential Compatibility Overlay (RCO) from Huntersville and rezone those properties in Huntersville currently zoned R-8 to Single Family – Traditional (SF-T).
- These plan and zoning amendments are an outcome of the initial work of the Olde Huntersville Civic League to develop a strategic plan for their community.
 - The civic league drafted a strategic plan to improve their community, including a series of goals and related actions.
 - One specific issue to be addressed in Huntersville is how to incentivize investment in single family homes that is both compatible with existing architecture and maintains affordability.
 - One of the challenges to developing new single family homes in Huntersville is the prevalence of narrow homes and lots, homes that are built on less than the 50 feet of frontage that is required by the current R-8 zoning.
 - Little new construction has taken place due to lack of market demand and the challenges of designing homes that "fit" on these narrow lots.

- To address this issue, the City contracted with Work Program Architects (WPA) to develop a Plan Book for narrow lots.
 - Working with the neighborhood, WPA developed a series of building plans for the community that will be made available, free of charge, for the construction of single family homes in Huntersville.
 - The neighborhood would also be rezoned, allowing the development of single family homes on narrow lots by right if one of these plans is used, saving time and money, thereby better maintaining affordability while ensuring compatibility.
- The rezoning would also set development standards, requiring elements such as front porches and restricting the locations of garages, so that builders can develop compatible custom home plans and not have to rely solely on the Plan Book.

B. Plan Consistency

- The Creating and Maintaining Healthy and Vibrant Neighborhoods chapter of *plaNorfolk2030* calls for working with engaged neighborhood residents to improve their communities and preparing plans in areas experiencing or in need of change.
- The Identifying Land Use Strategies chapter of *plaNorfolk2030* calls for ensuring that new development in the Traditional Character District fits with the predominant development character by developing form standards.
- The Ensuring Housing Choices for All chapter of *plaNorfolk2030* calls for utilizing GEM parcels (city owned property) to encourage the development of owner-occupied affordable housing and encouraging compatible infill housing on vacant parcels to minimize the impact of land costs on housing.
- *Vision 2100* calls for establishing neighborhoods of the future in the “Purple” areas (the majority of Huntersville is identified as a “Purple” area), defined as area at less-risk of coastal flooding, calling for investments that ensure that these neighborhoods continue to thrive.
- The proposed plan amendments incorporate all of the relevant actions in the Olde Huntersville Neighborhood Strategic Plan developed by the Olde Huntersville Civic League with support from the Department of Neighborhood Development.

C. Zoning Analysis

- Huntersville is currently zoned R-8 and Residential Compatibility overlay (RCO).
 - R-8 zoning calls for 5,000 square foot lots with 50 feet of frontage.
 - The majority of the homes in Huntersville are built on lots that do not meet the current zoning lot size and width requirements and are thus called nonstandard lots.
 - In order to build a new home on a nonstandard lot, either the proposed home must undergo a nonstandard lot review to ensure that it will be compatible with existing homes or get a special exception, adding time and cost to the development process.
 - While the RCO zoning sets some development standards such as reduced front yard requirements to pull the homes closer to the street and building heights that

basically require two-story homes, new development that complies with R-8 requirements (50 foot lots) could currently be built in a form that does not “fit” in with existing development.

- A new zoning district was drafted to address both the issue of nonstandard lots and development form including:
 - Build-to line between 9 and 12 feet from the front property line.
 - Building orientation to the street.
 - Building height between 20 and 35 feet tall.
 - Ground story height at least 1.5 feet above highest adjacent grade.
 - Front porches required, with a minimum of 6 feet in depth and 8 feet in width.
 - Front loaded attached garages only allowed set back a minimum of 15 feet from the front of the home and garage doors no wider than 30% of the front façade width.
 - Driveways not permitted between the front of the home and the front property line.
- These requirements ensure both compatibility and long-term physical resilience.
- This proposed new zoning district will be applied to those properties in Huntersville currently zoned R-8.

D. Financial Impacts

The purpose of the Plan Book is to incentivize development on currently vacant lots, some of which are publicly owned and not generating real estate taxes. The development of new homes should result in an enhanced tax base and potentially more real estate tax revenue.

E. Transportation Impacts

N/A

F. Historic Resources Impacts

While Huntersville is not a designated historic district (National, State or Local), compatible infill development will aid in the future if historic designation is ever sought for the neighborhood.

G. Public Schools Impacts

- The addition of new homes in Huntersville could add school aged children to the Norfolk school system.
- Huntersville is currently in four elementary school attendance zones, two middle school attendance zones and two high school attendance zones.
- There is sufficient capacity within the school system to absorb any additional students generated by infill development in Huntersville.

H. Environmental Impacts

In order to promote environmental sustainability, the Plan Book includes rain barrels in each set of plans as a method to deal with stormwater runoff on each individual site.

I. AICUZ Impacts

N/A

J. Surrounding Area/Site Impacts

The plan calls for creating opportunities for infill housing in Huntersville that will eliminate some the potentially blighting vacant lots and improve the overall condition of the housing stock.

K. Payment of Taxes

N/A

L. Civic League

The Olde Huntersville Civic League actively participated in the planning process, review of the home designs and development of the new zoning district.

M. Coordination

This amendment has been coordinated with the Departments of Development and Neighborhood Development as well as the City Attorney's Office.

N. Communication Outreach/Notification

- The project team met with the Olde Huntersville Civic League on November 8, 2016 and January 17, 2017, the Church Street/Huntersville Task Force on February 2, 2017 and representatives from Tidewater Builders Association on January 18, 2016.
- Legal notification was placed in The Virginian-Pilot on February 9 and February 16.

O. Recommendation

Staff recommends that the requested amendments to *plaNorfolk2030*, the Zoning Ordinance and the zoning map be **approved**.

Attachments:

Location map

Future Land Use map

Zoning map

Proposed zoning text

Proposed zoning map amendment

Proponents and Opponents

February 23, 2017 Public Hearing

Proponents

Mel Price
208 E. Plume St. Suite 2
Norfolk, VA 23510

Anthony James
208 E. Plume St. Suite 2
Norfolk, VA 23510

Janie Chapman
P.O. Box 1701
Norfolk, VA 23501

Jerome Miller, Norfolk Building Corporation
1507 E. Bayview Blvd.
Norfolk, VA 23503

Carolyn J. Latham, Olde Huntersville Civic League
Vice President
1819 Bracey St.
Norfolk, VA 23504

Harvey Nash
736 Lexington St.
Norfolk, VA 23504

Opponents

None

Questions Only

Henry Webb, Jr.
1032 Philpotts Rd.
Norfolk, VA 23513

Michael Webb
1032 Philpotts Rd.
Norfolk, VA 23513

Kathleen J. Vaughan
1126 Merrimac Ave.
Norfolk, VA 23504

Proponents and Opponents

March 23, 2017 Public Hearing

Proponents

Carolyn J. Latham, Olde Huntersville Civic League
Vice President
1819 Bracey St.
Norfolk, VA 23504

Janie Chapman
P.O. Box 1701
Norfolk, VA 23501

Opponents

None

Form and Correctness Approved:

RAD

Contents Approved: *PS*

By

[Signature]
Office of the City Attorney

[Signature]
DEPT.

NORFOLK, VIRGINIA

ORDINANCE No.

AN ORDINANCE TO AMEND THE CITY'S GENERAL PLAN, PLANORFOLK2030, SO AS TO ADOPT AND INCORPORATE THE "NORFOLK TRADITIONAL NEIGHBORHOOD PLAN BOOK" AND TO ADD NEW ACTION ITEMS TO SUPPORT AND INCORPORATE THE PLAN IN THE HUNTERSVILLE NEIGHBORHOOD.

- - -

BE IT ORDAINED by the Council of the City of Norfolk:

Section 1:- That the document entitled "Norfolk Traditional Neighborhood Plan Book," prepared by Work Program Architects and the City of Norfolk and placed on file with the Department of City Planning, is hereby adopted and made part of the general plan of Norfolk, plaNorfolk2030.

- (a) Modify the Table of Contents to change "Appendix B" to read as follows:

Appendix B. Adopted Plans, Policies and Supplements

*City of Norfolk Chesapeake Bay Preservation Area
Program Supplement
City of Norfolk Bicycle and Pedestrian Strategic
Plan
Complete Streets Policy
Sand Management Plan (SMP) Guidance Document
Traditional Neighborhood Plan Book
Vision 2100*

- (b) In Chapter 3, "Creating and Maintaining Healthy and Vibrant Neighborhoods," add the following new sections to Action N5.1.15, "Continue to implement the following actions for the Huntersville area":
- o N5.1.15(c). Better identify Huntersville and improve its image with tools such as gateway signage, landscaping, lighting, banners, public art, and enhanced crosswalks.

- o N5.1.15(d). Encourage land uses and businesses that are compatible with the neighborhood by utilizing zoning tools such as conditional zoning.
- o N5.1.15(e). Support business development that provides employment through workforce development initiatives.
- o N5.1.15(f). Upgrade and expand recreational opportunities by renovating the Huntersville community center and expanding programming opportunities.
- o N5.1.15(g). Improve the physical condition of the neighborhood through code enforcement, landlord and tenant outreach, and participation in other rental education programs.
- o N5.1.15(h). Reduce speeding in the neighborhood with various traffic calming measures such as electronic surveillance.
- o N5.1.15(i). Support transit use by evaluating the appropriateness of existing bus stop locations and installing bus shelters and trash containers.
- o N5.1.15(j). Enhance neighborhood safety by encouraging neighborhood activities such as the Neighborhood Watch Program and by addressing trespassing and loitering issues.
- o N5.1.15(k). Ensure quality infill development that preserves affordability by creating a plan book and creating development opportunities on vacant lots.
- o N5.1.15(l). Explore tools and funding sources for rehabilitation of existing housing.

(c) In Chapter 13, "Implementing plaNorfolk2030," amend the table to include the information shown in the exhibit attached hereto and marked as "Exhibit A."

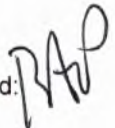
Section 3:- The Council hereby finds that this general plan amendment is required by public necessity, convenience, general welfare, or good zoning practice.


Section 4:- That this ordinance shall be in effect from the date of its adoption.

ATTACHMENT:
Exhibit A (1 page)

Exhibit A

IMPLEMENTATION ITEM	ACTION	LEAD RESPONSIBILITY	TIMEFRAME FOR COMPLETION	COST CATEGORY	COMMENTS
Neighborhoods Goal 5. Continue the implementation of area plans.					
Outcome NS.1. Support for the following actions in designated areas.	NS.1.15	Continue to implement the following actions for the Huntersville area.			
	Huntersville	NS.1.15(a). Develop and implement a streetscape plan to improve the appearance of Tidewater Drive.	RPOS; PW; Planning	Mid-Term	Several Million
		NS.1.15(b). Evaluate possible alternatives for extending light rail from Downtown to the north along Church Street.	PW; Planning; HRT	Mid-Term	\$250,000 to \$1 Million
		NS.1.15(c). Better identify Huntersville and improve its image with tools such as gateway signage, landscaping, lighting, banners, public art, and enhanced crosswalks.	PW; RPOS; CF	Mid-Term	\$250,000 to \$1 Million
		NS.1.15(d). Encourage land uses and businesses that are compatible with the neighborhood by utilizing zoning tools such as conditional zoning.	Planning	Ongoing	Existing Resources
		NS.1.15(e). Support business development that provides employment through workforce development initiatives.	Development; NRHA	Ongoing	Existing Resources
		NS.1.15(f). Upgrade and expand recreational opportunities by renovating the Huntersville community center and expanding programming opportunities.	RPOS; GS	Long-Term	Over \$1 million
		NS.1.15(g). Improve the physical condition of the neighborhood through code enforcement, landlord and tenant outreach, and participation in other rental education programs.	ND	Ongoing	Existing Resources
		NS.1.15(h). Reduce speeding in the neighborhood with various traffic calming measures such as electronic surveillance.	Police; PW	Mid-Term	\$100,000 to \$250,000
		NS.1.15(i). Support transit use by evaluating the appropriateness of existing bus stop locations and installing bus shelters and trash containers.	PW; HRT	Short-Term	Up to \$100,000
		NS.1.15(j). Enhance neighborhood safety by encouraging neighborhood activities such as the Neighborhood Watch Program and by addressing trespassing and loitering issues.	Police; ND	Immediate	Existing Resources
		NS.1.15(k). Ensure quality infill development that preserves affordability by creating a plan book and creating development opportunities on vacant lots.	Planning	Immediate	Up to \$100,000
		NS.1.15(l). Explore tools and funding sources for rehabilitation of existing housing.	ND	Immediate	Existing Resources

Form and Correctness Approved: 

Contents Approved: 

By 

Office of the City Attorney

By 

DEPT.

NORFOLK, VIRGINIA

ORDINANCE No.

AN ORDINANCE TO AMEND CHAPTER 4 OF THE ZONING ORDINANCE OF THE CITY OF NORFOLK, 1992, SO AS TO CREATE THE SINGLE-FAMILY TRADITIONAL (SF-T) RESIDENTIAL ZONING DISTRICT.

- - -

BE IT ORDAINED by the Council of the City of Norfolk:

Section 1:- That Chapter 4 of the Zoning Ordinance of the City of Norfolk, 1992 (as amended), entitled "Residence Districts," is hereby amended and reordained by adding thereto a new section, including subsections, to be designated generally as section 4-17, titled "Single-Family Traditional (SF-T)," District. The text and associated table shall read as set forth in "Exhibit A," attached hereto.

Section 2:- That Table 4-A of the Zoning Ordinance of the City of Norfolk, 1992 (as amended), entitled "Table of Land Uses," is hereby amended and reordained so as to list certain uses permitted by right and by special exception in the SF-T (single-family traditional) District. The table shall read as set forth in "Exhibit B," attached hereto.

Section 3:- That Table 4-B of the Zoning Ordinance of the City of Norfolk, 1992 (as amended), entitled "Yard Requirements Residence Districts," is hereby amended and reordained so as to list specific yard requirements applicable in the SF-T (single-family traditional) District. The table shall read as set forth in "Exhibit C," attached hereto.

Section 4:- The Council hereby finds that this zoning amendment is required by public necessity, convenience, general welfare, or good zoning practice.

Section 5:- That this ordinance shall be in effect from the date of its adoption.

ATTACHMENTS:

Exhibit A (4 pages)

Exhibit B (4 pages)
Exhibit C (3 pages)

EXHIBIT A

4-17 Single Family – Traditional (SF-T)

4-17.1 *Purpose statement.* The purpose of the Single Family - Traditional district is to allow for development of single-family detached dwellings in the Traditional Character District at higher densities that are more consistent with older, walkable neighborhoods in Norfolk that were first established in the early 20th Century. District regulations are designed to discourage development that interferes with the quiet residential nature of these traditional neighborhoods.

4-17.2 *Uses.* Uses in the SF-T district as specified in Table 4-A, Land Uses for Residential Districts, are permitted as of right or by special exception, subject to the general provisions set forth in section 4-0.

4-17.3 *Special design regulations for narrow lots.* Because the SF-T district allows for a traditional development pattern of single-family detached dwellings on narrow lots, the following additional requirements are designed to ensure the compatibility of lots as narrow as 25 feet in width.

- (a) *Lot size.* The minimum lot areas and lot widths permitted in this district are as follows:

Permitted Use	Minimum Lot Area	Minimum Lot Width
<i>(a) Principal Permitted Uses</i>		
Residential – single-family dwelling constructed to conform to any of the house plans shown in City of Norfolk “Traditional Neighborhood Plan Book” ¹	2,500 sq. ft.	25 ft.
Residential – single-family dwelling constructed to conform to all conditions of a special exception authorizing the dwelling, in accordance with the procedures set forth in Article V, Chapter 25 of this ordinance ²	2,500 sq. ft.	25 ft.
Residential – all other single-family dwellings	5,000 sq. ft.	50 ft.
<i>(b) Other Permitted Uses</i>		
Governmental Operations (non-industrial)	none	none
Utility Facility	none	none
All other permitted uses	5,000 sq. ft.	50 ft.

Notes:

- ¹ If multiple new residences are developed on adjacent lots or the same block face, the Zoning Administrator shall require that the plans selected from the Plan Book shall demonstrate appropriate differences.
- ² As part of the special exception process, the proposed design of the single-family dwelling shall be required to undergo review by the Architectural Review Board (ARB) which shall issue a recommendation to the city planning commission prior to the commission's public hearing required under section 25-5.3 of this ordinance.

4-17.4 *Development standards.*

- (a) *Yard requirements.* The yard requirements for the SF-T District are set forth in Table 4-B, below.
- (b) *Building form standards for single-family dwellings.* The following building form standards shall apply to all single-family dwellings:
- (1) *Build-to line.*
- (A) *General rule.* At least 75% of the width of the ground floor, front façade of all principal buildings shall be located not less than nine (9) feet and not more than 12 feet from the front property line.
- (B) *Special rule for irregular blocks.* If not less than 25% of the block face frontage includes buildings with front yard depths greater or less than the range set forth in subsection (A), above, the Zoning Administrator may determine that the applicable build-to line is the average of the location of the front façades of buildings along the block face, in which case 75% of the width of the front façade of any principal building shall be located within 1.5 feet of the applicable build-to line. In making such a determination, the Zoning Administrator may elect to ignore non-conforming uses and structures, in whole or in part, to ensure compatibility with conforming structures and uses along the block face.
- (C) For purposes of determining compliance with this built-to line provision, the wall behind the front porch shall be considered part of the ground floor, front façade.
- (2) *Building orientation.* Primary entrances of every principal building shall face the street. On corner lots, primary entrances of principal buildings shall face the street which most buildings in the vicinity face.

- (3) *Building height.* Principal buildings must be not less than 20 feet and not more than 35 feet in height.
- (4) *Ground floor height.* The ground floor of every principal building shall be elevated not less than 1.5 feet above the highest grade adjacent to any point of the building.
- (5) *Front porch.* Ground story front porches extending toward the street from the front façade are required. Front porches shall be a minimum of six (6) feet in depth and a minimum of eight (8) feet in width. Second floor porches are permitted.
- (6) *Attached garage.*
 - (A) *Front-loaded garage.* A front-loaded, attached garage is discouraged but, if provided, shall be set back not less than 15 feet from the ground floor, front façade of the building and shall include a garage door no wider than 30% of the width of that façade.
 - (B) *Side-loaded garage.* The entrance to any side-loaded, attached garage shall not be oriented to the same street as the primary entrance of the principal building. The façade of that portion of the building where the garage door is located shall not be blank and must be developed with the same architectural fenestration as the front façade.
- (7) *Accessory structures.*
 - (A) *Detached garage.* A detached garage is permitted.
 - (B) *Location.* In addition to the requirements of Chapter 13, any accessory structure, including a detached garage, shall be located entirely behind the rearmost portion of the principal building.
- (8) *Driveways.* No driveways shall be located in the area between the ground floor, front façade of the principal building and the front property line.
- (c) *Building form standards for all uses other than single-family dwellings.*
 - (1) *Building orientation.* Primary entrances of every principal building shall face the street. On corner lots, primary entrances of principal buildings shall face the street which most buildings in the vicinity face.

- (2) *Building height.* Principal buildings must be not less than 20 feet and not more than 35 feet in height.
- (3) *Roof.* Every new building and addition to any existing building shall have pitched roofs.

EXHIBIT B

RESIDENTIAL DISTRICTS
TABLE 4-A – TABLE OF LAND USES

LAND USES	RESIDENTIAL DISTRICTS																	COMMENTS
P = Permitted Use																		
S = Special Exception Use	R-1	R-2	R-3	R-4	R-5	R-6	R-7	R-8	R-9	R-10	R-11	R-12	R-13	R-14	R-15	UR	SF-T	
RESIDENTIAL USES																		
Congregate Housing											P	P	P	P	P			
Day Care Home - large lot (maximum of 9 children)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		P	Minimum lot area of 6,000 sq. ft. required Subject to the requirements of § 4-0.5 Day care home
Day Care Home - small lot (maximum of 9 children)	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		S	Minimum lot area of 5,000 sq. ft. required Subject to the requirements of § 4-0.5 Day care home
Day Care Home (more than 9 children)	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		S	Minimum lot area of 10,000 sq. ft. required Maximum of 12 children;

LAND USES	RESIDENTIAL DISTRICTS																	COMMENTS
	R-1	R-2	R-3	R-4	R-5	R-6	R-7	R-8	R-9	R-10	R-11	R-12	R-13	R-14	R-15	UR	SF-T	
P = Permitted Use S = Special Exception Use																		Subject to the requirements of § 4-0.5 Day care home and § 25-10.2.2 Day care home
Dormitory											S	S	S	S	S			
Fraternity/Sorority House											S	S	S	S	S			
Multi-Family (3-6 units)											P	P	P	P	P			
Multi-Family (7 or more units)											S	S	P	P	P			
Rooming House											S	S	S	S	S			Subject to the requirements of City Code § 22-27 – 34
Semi-Detached Dwelling											P	P	P	P	P	P		
Single-Family	P	P	P	P	P	P	P	P	P		P	P	P	P	P	P	P	Auxiliary units allowed in UR District by special exception; subject to the requirements of § 4-16
Townhouse										P			P	P	P	P		

LAND USES	RESIDENTIAL DISTRICTS																	COMMENTS
P = Permitted Use S = Special Exception Use	R-1	R-2	R-3	R-4	R-5	R-6	R-7	R-8	R-9	R-10	R-11	R-12	R-13	R-14	R-15	UR	SF-T	
Two-Family											P	P	P	P	P			
COMMERCIAL USES																		
Bed and Breakfast Home											S	S	S	S	S			Subject to the requirements of § 25-10.10 Bed and Breakfast
PUBLIC AND CIVIC USES (Sites < 1 Acre)																		
Community Dock	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		
Day Care Center, Adult											S	S	S	S	S			
Day Care Center, Child											S	S	S	S	S			Subject to the requirements of § 25-10.2 Day care center
Day Care Center, Child (only as accessory uses to nonresidential uses)	S	S	S	S	S	S	S	S	S	S							S	Subject to the requirements of §25-10.2 Day care center; on lots at least 20,000 square feet in area
Governmental Operations (non-industrial)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Park	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	

LAND USES	RESIDENTIAL DISTRICTS																	COMMENTS
	R-1	R-2	R-3	R-4	R-5	R-6	R-7	R-8	R-9	R-10	R-11	R-12	R-13	R-14	R-15	UR	SF-T	
Recreation Center, Community (Private)	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	
Recreation Center, Community (public)	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	
Religious Institution	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	
Utility Facility	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Yacht Club/Country Club	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	

EXHIBIT C

TABLE 4-B YARD REQUIREMENTS RESIDENCE DISTRICTS (In Linear Feet)					
District	Residential Uses	Front Yard	Corner Side Yard ⁽³⁾	Interior Side Yard ⁽³⁾	Rear Yard
R-1	Single-Family	Avg./25 ⁽¹⁾	25	10	25
R-2	Single-Family	Avg./25 ⁽¹⁾	25	10	25
R-3	Single-Family	Avg./25 ⁽¹⁾	25	10	25
R-4	Single-Family	Avg./25 ⁽¹⁾	25	10	25
R-5	Single-Family	Avg./25 ⁽¹⁾	10	10	25
R-6	Single-Family	Avg./25 ⁽¹⁾	10	5	25
R-7	Single-Family	Avg./25 ⁽¹⁾	10	5	25
R-8	Single-Family	Avg./25 ⁽¹⁾	10	5	25
R-9	Single-Family	Avg./25 ⁽¹⁾	10	3	25
R-10 through R-15 and UR	Townhouse or Semi-Detached Dwelling (located in Traditional or Downtown character district)	Minimum = 5 Maximum = 12	10	5	20
R-10 through R-15 and UR	Townhouse or Semi-Detached Dwelling (located in Suburban character district)	Minimum = 10 Maximum = 15 ⁽⁵⁾	10	10 ⁽⁶⁾⁽⁷⁾	20
R-11	Single-Family and Two-Family (lots at least 50 feet in width)	20	10	5	25
R-11	Single-Family	20	10	3.5	25

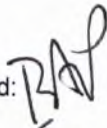
	(lots less than 50 feet in width)				
R-11	Multi-Family—Moderate Density	20	10	10 ⁽⁴⁾	25
R-12	Single-Family and Two-Family (lots at least 50 feet in width)	20	10	5	20
R-12	Single-Family (lots less than 50 feet in width)	20	10	3.5	20
R-12	Multi-Family—Medium Density	20	10	10 ⁽⁴⁾	20
R-13	Multi-Family—Moderately High Density	20	10	10 ⁽²⁾	25
R-14	Multi-Family—High Density	20	10	10 ⁽²⁾	25
R-15	Multi-Family—High Density	20	10	10 ⁽²⁾	25
UR	Single-Family (with or without auxiliary structure)	15	5	3.5	5
SF-T	Single-Family	9 ⁽⁸⁾	10	5	25
	Nonresidential Uses				
	Recreation Center, Community (private)	25	10	25	25
	Recreation Center, Community (public)	25	10	25	25
	Congregate Housing	20	10	10	25
	Park	None	None	None	None
	Religious Institution	25	10	10	25
	Day Care Center, Child	25	10	25	25
	Day Care Center, Adult	25	10	25	25
	Dormitory	20	10	10	25
	Fraternity/Sorority House	20	10	10	25

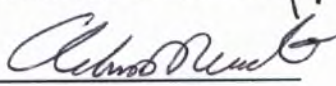
	Utility Facility	20	10	10	25
	Governmental Operations (non-industrial)	20	10	10	25

Notes:

- (1) Front yard requirements may be the average of the existing front yards on adjacent properties; however, in no case shall such front yard be required to be more than twenty-five (25) feet. If there are no structures on an adjacent zoning lot the required front yard of that zoning lot shall be twenty-five (25) feet.
- (2) The required interior yard shall be five (5) feet for single-, semi-detached and two-family residences.
- (3) On residential lots which are less than 40 feet in width, side yards or corner side yards not less than three (3) feet shall be provided.
- (4) Side yards shall have a combined width of not less than thirty (30) feet, and there shall be at least ten (10) feet of space between buildings on the same site.
- (5) Upon consideration and approval of a special exception requesting such, these minimum and maximum dimensions for the required front yard of any townhouse or semi-detached dwelling located in the Suburban character district may be modified.
- (6) Whenever the interior yard abuts a residential zoning district that requires less than a ten (10) foot interior side yard, the interior side yard required for the townhouse or semi-detached dwelling may be reduced to match the interior side yard requirement of the abutting residential zoning district.
- (7) The required interior yard located at the ends of any joined set of townhouses or semi-detached dwellings shall be five (5) feet.
- (8) Subject to reduction using special rule for irregular blocks set forth in section 4-17.4(b) of this ordinance.

02/22/2017 lds

Form and Correctness Approved: 

By 
Office of the City Attorney

Contents Approved: PS

By 
DEPT.

NORFOLK, VIRGINIA

ORDINANCE No.

AN ORDINANCE TO REZONE PROPERTIES IN THE HUNTERSVILLE
NEIGHBORHOOD TO SF-T (SINGLE-FAMILY TRADITIONAL)
DISTRICT.

- - -

BE IT ORDAINED by the Council of the City of Norfolk:

Section 1:- That all those properties, lots, and parcels of land in the Huntersville neighborhood that are identified to be rezoned on "Exhibit A," entitled "Proposed Zoning Map Amendment Huntersville area" and attached hereto, are hereby rezoned from R-8 (Single-family Residential) District and RCO (Residential Compatibility Overlay) District to SF-T (Single-family Traditional) District.

Section 2:- That the official Zoning Map for the City of Norfolk is hereby amended and reordained so as to reflect this rezoning.

Section 3:- The Council hereby finds that this zoning amendment is required by public necessity, convenience, general welfare, or good zoning practice.

Section 4:- That this ordinance shall be in effect from the date of its adoption.


ATTACHMENT:
Exhibit A (4 pages)



1 inch = 200 feet

0 100 200 400 Feet



 Zoning: SF-T from R-8

2/3/2017

Proposed Zoning Map Amendment Huntersville area

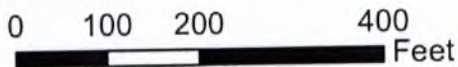



see page 1

see page 3

see page 4

1 inch = 200 feet



 Zoning: SF-T from R-8

2/3/2017

Proposed Zoning Map Amendment Huntersville area

Page 3 of 4

see page 1

see page 2




see page 4

1 inch = 200 feet

0 100 200 400 Feet



 Zoning: SF-T from R-8

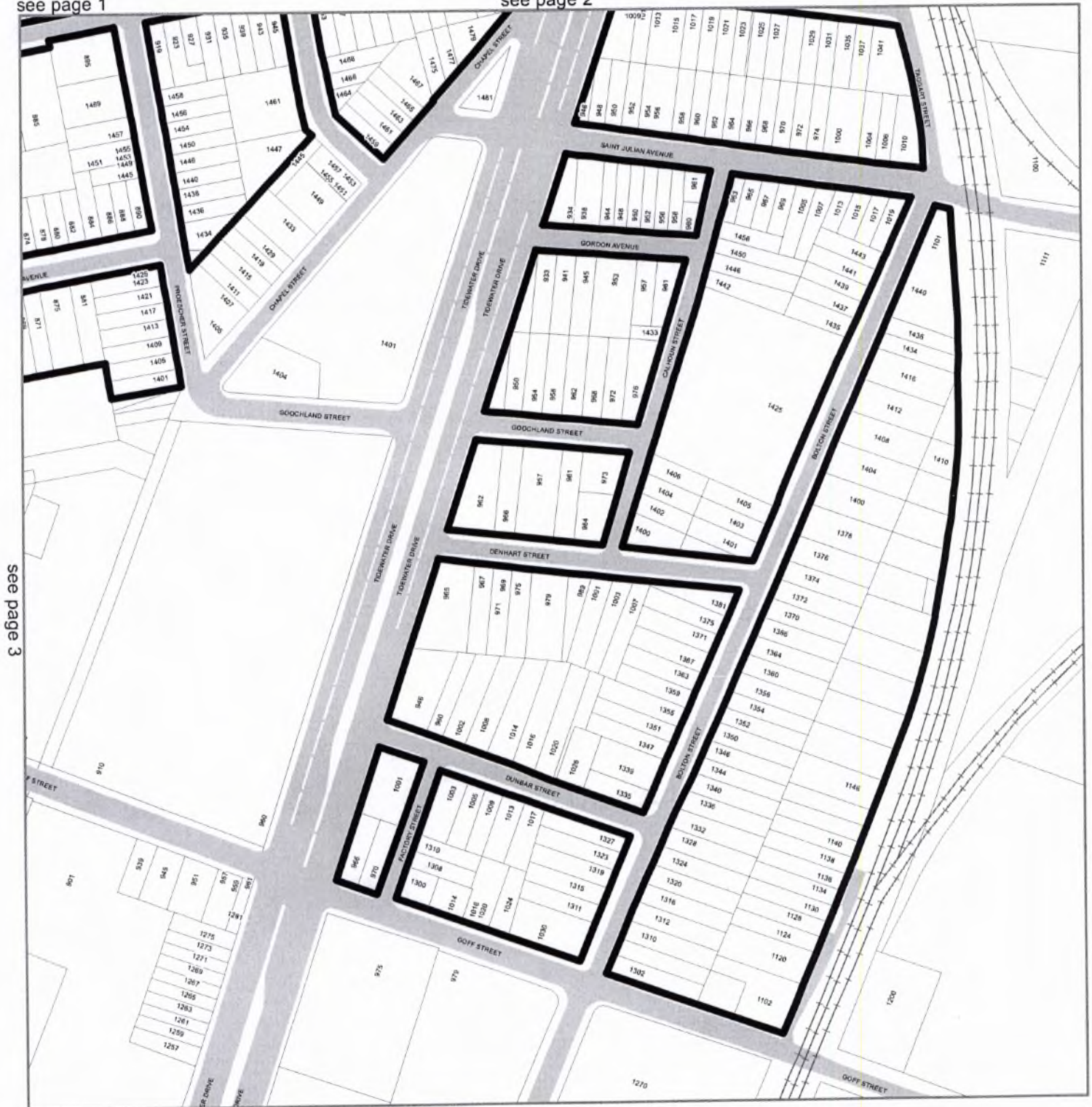
2/3/2017

Proposed Zoning Map Amendment Huntersville area

Page 4 of 4

see page 1


see page 2



1 inch = 200 feet

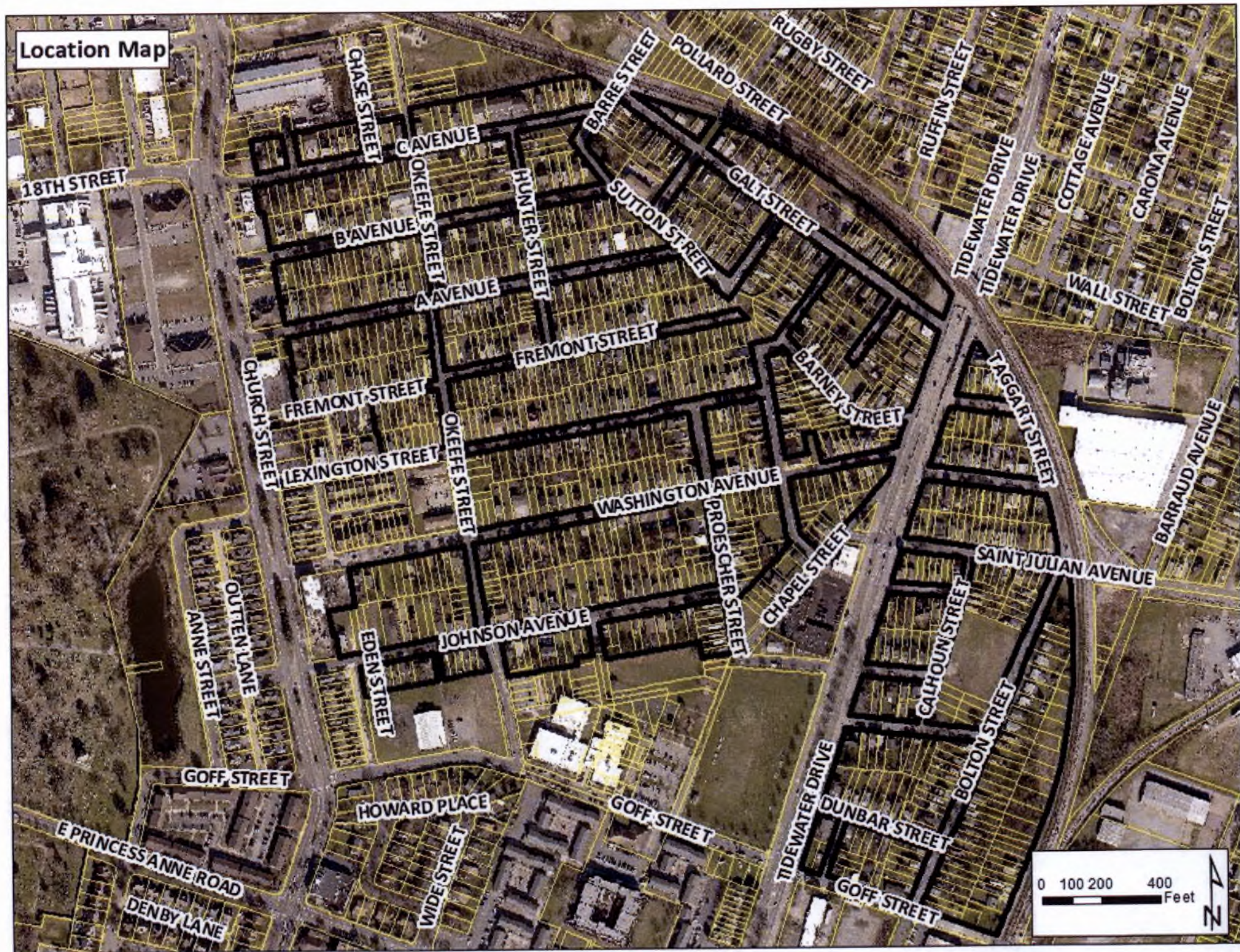
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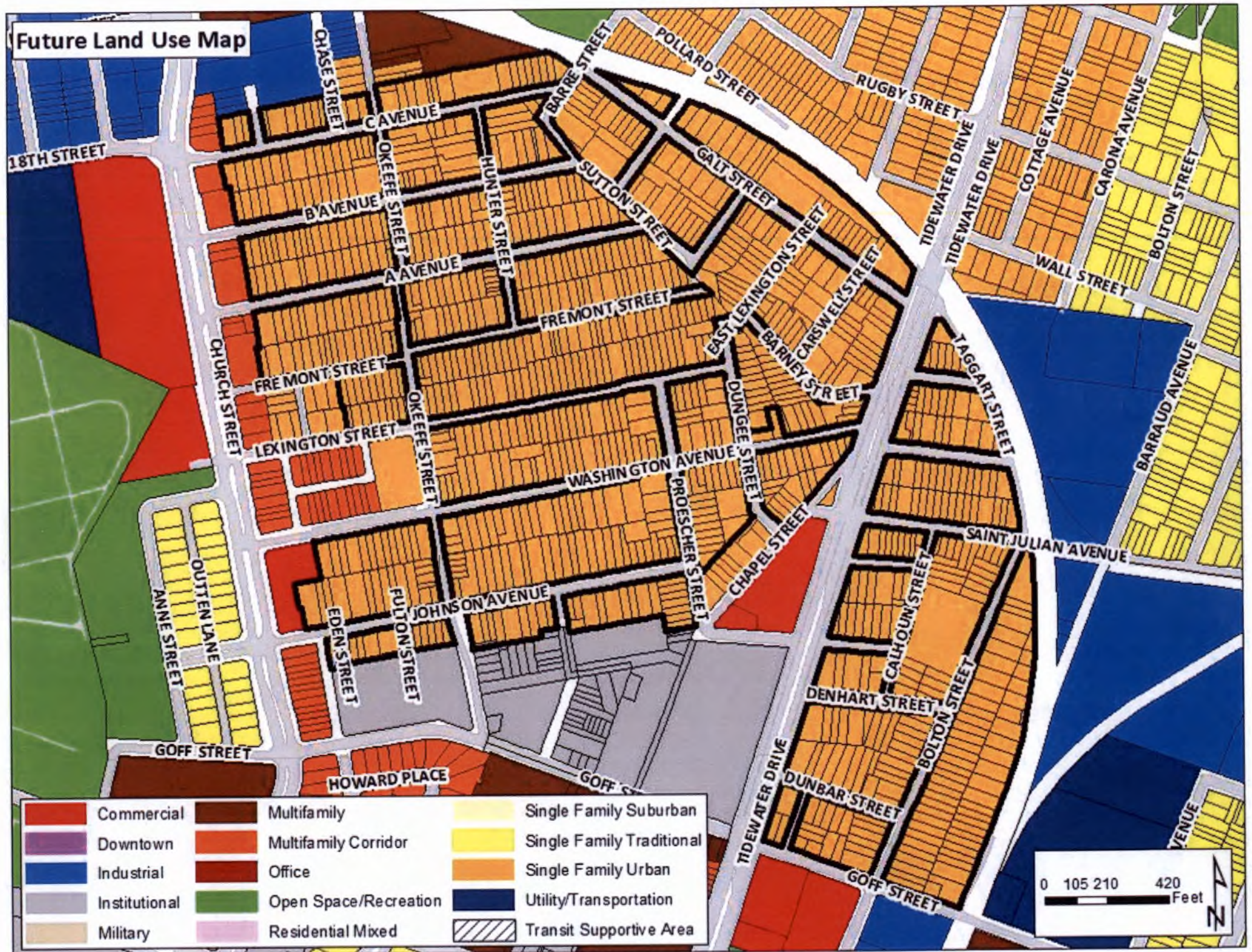
 Zoning: SF-T from R-8

2/3/2017

Location Map



Future Land Use Map







Traditional Neighborhoods Plan Book

Chapter 1 - Olde Huntersville



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Site Placement	51
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Olde Huntersville Civic League

History, Legacies and Building the Future

OLDE HUNTERSVILLE: HISTORY AS A GUIDE TO A SUSTAINABLE FUTURE

Introduction by Raymond L. Gindroz, FAIA

HISTORY, LEGACIES AND BUILDING THE FUTURE

Huntersville is one of the most intact late 19th century / early 20th century neighborhoods in the City. As you walk around the neighborhood, you feel a strong sense of history. The houses with their tall windows, gabled roofs and deep porches, tell the story. These traditional houses are oriented to the street so neighbors come in contact with each other often and know what is going on in the street. This was and continues to be a neighborly community with people looking out for each other. Although the neighborhood has had some difficult times, these traditions are carried on by current residents. For example, residents do not refer to houses by their address, but rather by the name of the original or well-known owner. Some of the streets are named for prominent citizens who lived there, for example Dr. Anderson's house is on Anderson Street. This strong sense of community identity is one of the neighborhood's key assets. Sociologists call this cohesiveness "Social Capital". Communities with strong social capital are best able to cope with change and to be the most supportive of residents. This cohesiveness is also fragile. It needs to be supported and re-enforced. Because the architectural character of the community plays a key role in community identity, it is critical to ensure that new construction continues and re-enforces that character.

A BRIEF HISTORY

1880-1950

In the post-Civil War economy, trains brought coal to the Lamberts Point docks, a deep-water port. The railroad tracks ran along the edge of what would become the Huntersville community and, together with the surrounding industrial uses, would shape the development of Huntersville. The neighborhood was developed without an overall plan by either a developer or the City, which resulted in an irregular street pattern. This is part of its charm and its individual identity. Church Street was, and still is, the main route into town and Chapel Street was an important connector. In the early years, the street pattern was partially filled in with scattered wood frame houses, typically on smaller lots. Industrial uses were located along the tracks, especially in the northern portion of the neighborhood. A Jewish cemetery was established along Tidewater Drive during this period. A botanical and zoological park, Lesner's Park, was developed adjacent along Church Street. Lesner Park was eventually sold and became the site of a brewery (which later closed and is now developed with townhomes).

In the era of segregation, Huntersville was a self-sufficient community with places to work, shop, worship and educate. Shops were located within walking distance, many along Church Street or Chapel Street, but there were also corner shops and a beauty parlor in one of the homes. Huntersville was the one of the most cosmopolitan areas in the City with many African American, Asian, Jewish and Eastern European families and businessmen. The John T. West School, the first public high school for African Americans was built in 1906 to serve the community.

The design of the houses with their front porches, gabled roofs, large windows and architectural features created an effective framework for residents to build a strong sense of community. The emphasis was on the front of the house and the front porch which encouraged interaction among neighbors. People looked after each other and developed a great deal of social capital. There were several social clubs and community service organizations, such as the Bachelor's Club and the Tents, which further strengthened the sense of community identity.

Huntersville was one of the first neighborhoods where African Americans could buy a house. It was the only African American neighborhood to be annexed by the City. The neighborhood was home to many leading citizens:

- Mr. P.B. Young established the Norfolk Journal and Guide, the City's first African American newspaper
- Mr. Robinson was an educator and first president of the NAACP
- Mr. D.J. Jaycox and Mr. Dungree were educators
- Mr. Dinkins was a theater director who studied abroad and started the Black Actors Guild
- Ms. Ida B. May was a magistrate
- Dr. Wesley Anderson was a podiatrist

The neighborhood was home to so many educators that some thought it should be named "Teachersville".

1960-1980

Housing choice for African Americans become possible due to the passage of civil rights laws and fair housing efforts. This led many leading citizens of Huntersville to move to the suburbs, as well as the children of longtime residents. As the older generation aged, it became more difficult to maintain houses and as children inherited houses, they rented them out, often without effective management. Over time, new poorly designed and built houses and apartments were inserted into the neighborhood, detracting from the character of the community. Typically, front yards became parking lots and garages were placed where the front porch used to be. The neighborhood went into decline.

1980-Present

The Olde Huntersville Development Corporation (OHDC) was established in 1984 to revitalize the neighborhood. James Rouse, founder of the Enterprise Foundation, came to Huntersville and provided technical support and training to set up the OHDC. The Norfolk Redevelopment and Housing Authority supported the early efforts of the OHDC. The OHDC provided 130 homeownership opportunities through both restoration of existing homes and new infill construction. It was a bootstrap self-help effort in which members did their own construction work and recruited potential home owners.

In addition to housing rehabilitation and construction, the OHDC supported many cultural programs including a community choir, computer literacy classes, and Tidewater Community College classes. The OHDC also invested in people by organizing efforts to plant flower gardens on vacant lots, with help from master gardeners from the Garden Club as part of the "Flower Power" program. The OHDC also participated in the Model Cities Program and helped secure the redevelopment programs for the larger area. That larger area was also called Huntersville and included a much larger area than just the historic neighborhood. To avoid confusion, the historic neighborhood is now called Olde Huntersville.

A PATH FORWARD

The Olde Huntersville Civic League has already begun the work of identifying challenges to the neighborhood and has set a plan in motion with their Olde Huntersville Neighborhood Strategic Plan. In support of the neighborhood, the City embarked on this Plan Book effort to address some of the issues related to the housing stock. Specifically, some new houses compromise the character of the community with blank walls, poor proportions, and concrete front yards. In addition, there is an abundance of vacant lots, most only 25 feet in width. The overall goal is to bring new homeowners to Olde Huntersville by constructing new, affordable homes that are compatible with the neighborhood character.

The most important resource for a community is the social capital provided by the way in which neighbors come together to solve problems and to build programs for the future. The legacy of the Olde Huntersville

Civic League and the OHDC will be a key part of moving forward. In the course of this process, participants strongly voiced opinions about architecture. They stressed the importance of the appearance of the house from the street. It should have a front porch and a front yard with flowers, it should not have a garage entered from the street or a concrete parking pad. The house should fit into the historic character with the right types of windows. To ensure future development contributes to the historic character of the neighborhood, the following recommendations are offered:

1. Build an architecture that supports community identity.
 - a. Houses should be oriented to the street as a social space with a flower filled and landscaped front yard.
 - b. Parking should be behind the houses; when 25 foot lots are together, it is possible to have a shared driveway to provide access to the parking space or garage in the rear. For single 25 foot lots, options should be explored to add one or more properties to enable existing houses to have a side yard and access to parking in the back of the lot.
 - c. Large porches with a minimum depth of 6 feet.
 - d. Consistent architectural character: Windows with vertical proportions, pitched roofs or Italianate detailing for flat roofs, appropriate eave details.
 - e. Materials consistent with tradition.
2. Celebrate the history of Huntersville and the many civic leaders who lived in the neighborhood.
 - a. Street names: A few of the streets are named after these leading citizens. As the program moves forward, consider naming more of the streets after these citizens.
 - b. Names on houses: In some historic districts, the names of original owners or of leading citizens who lived in the house are placed on a plaque.
3. Implement the program strategically. Options to concentrate efforts should be explored including the potential to have a block-by-block strategy or to build on current strengths such as development along Church Street.

We would like to thank members of the Olde Huntersville Development Corporation and the Olde Huntersville Civic League for their collaboration in producing this House Plan Book. We believe that it will prove useful because of their determination to preserve the essential values and character of the community.

Purpose

The Plan Book is intended to make it easy for potential homeowners to build their dream home in the beautiful, historic Olde Huntersville neighborhood. It follows the hard work that the residents have done to write and begin to implement the Olde Huntersville Neighborhood Strategic Plan. It is the first City of Norfolk initiative to give residents tools to make building affordable and well-designed houses on narrow lots possible without going through the rigorous and time-consuming Non-Standard Lot Review process or the Special Exception process. The Plan Book also provides opportunities for renters to become owners in the neighborhood, and makes a way for the neighborhood to grow from within. The houses shown on these pages are beautiful, customizable, market-rate homes that fit into the architectural character of the neighborhood. There are three, four, and five-bedroom plans with options for accessible bedrooms, perfect for aging-in-place.

The Plan Book aims to meet several goals of the Olde Huntersville Neighborhood Strategic Plan:

Goal 1	Enhance Image and Appearance
Goal 2	Support and Enhance Economic and Business Development
Goal 4	Improve Physical Conditions of the Neighborhood
Goal 7	Create Safe and Walkable Streets
Goal 8	Enhance Neighborhood Marketability

Overview

The Plan Book should be used by existing Olde Huntersville residents, potential homeowners interested in building and making their home in the neighborhood, and builders who are invested in contributing to the success of the beautiful, historic neighborhood of Olde Huntersville.

Once you have chosen your Plan and Elevation options from the Plan Book, head over to the City of Norfolk Development Services Center located on the first floor of City Hall at 810 Union Street, Norfolk, VA 23510. If you'd like to call ahead to ask questions, you can reach a Planner at (757) 664-47525 or planning@norfolk.gov. Once you've arrived at Development Services, let someone know you'd like to build a house from the Olde Huntersville Plan Book and give them the plan number. They will pull a full set of approved, signed and sealed plans for you. It's best to have your builder/contractor fill out the permit. As the property owner, you may chose to perform the work and obtain the permit yourself but you will need to submit an affidavit accepting responsibility for all work performed under the permit. Be sure to go to www.norfolk.gov to find out about inspections, fences, etc.

40 foot-long House - 3 Bedrooms

Design No. 40.A



First Floor Plan



Second Floor Plan

40 foot-long House - 4 Bedrooms (1 first floor accessible)

Design No. 40.B



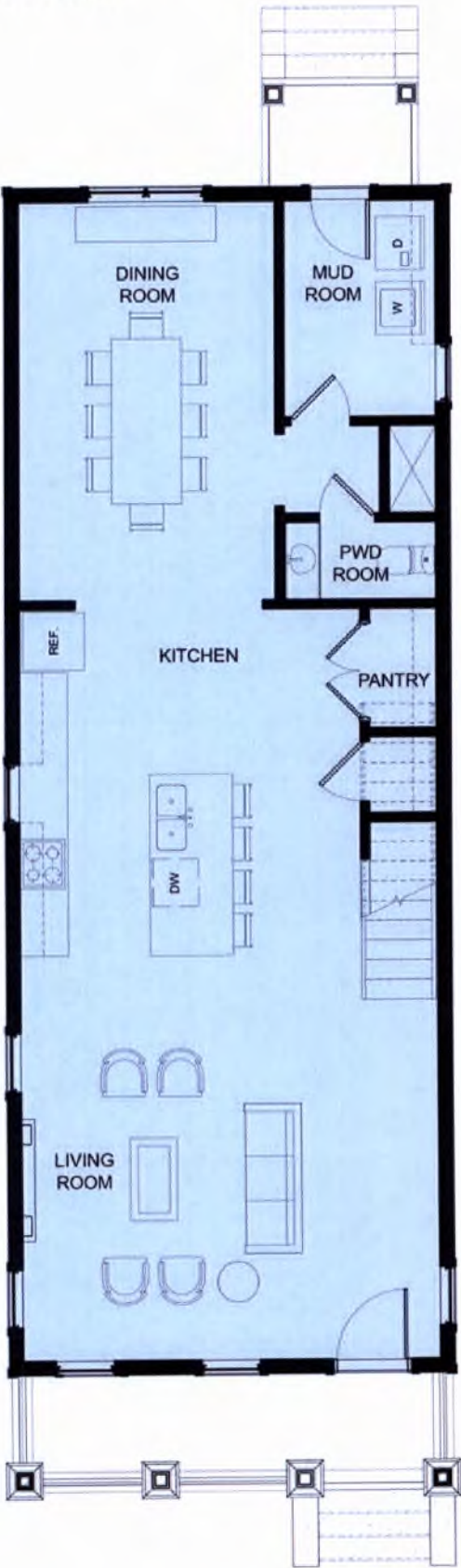
First Floor Plan



Second Floor Plan

50 foot-long House - 4 Bedrooms

Design No. 50.A



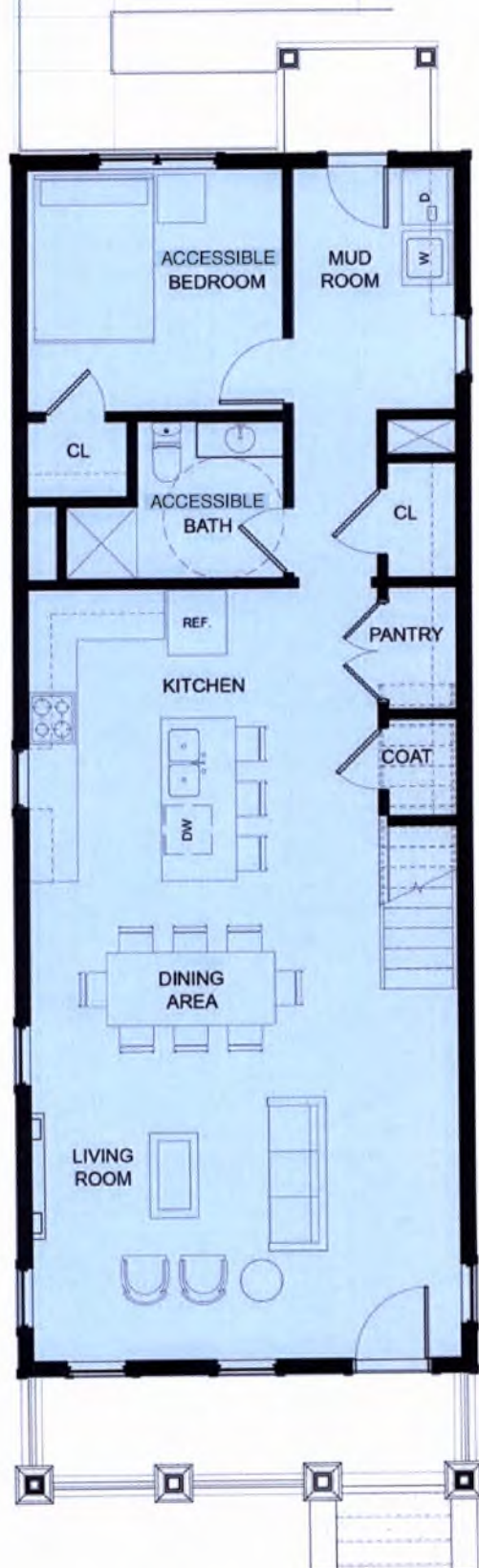
First Floor Plan



Second Floor Plan

50 foot-long House - 5 Bedrooms (1 first floor accessible)

Design No. 50.B



First Floor Plan



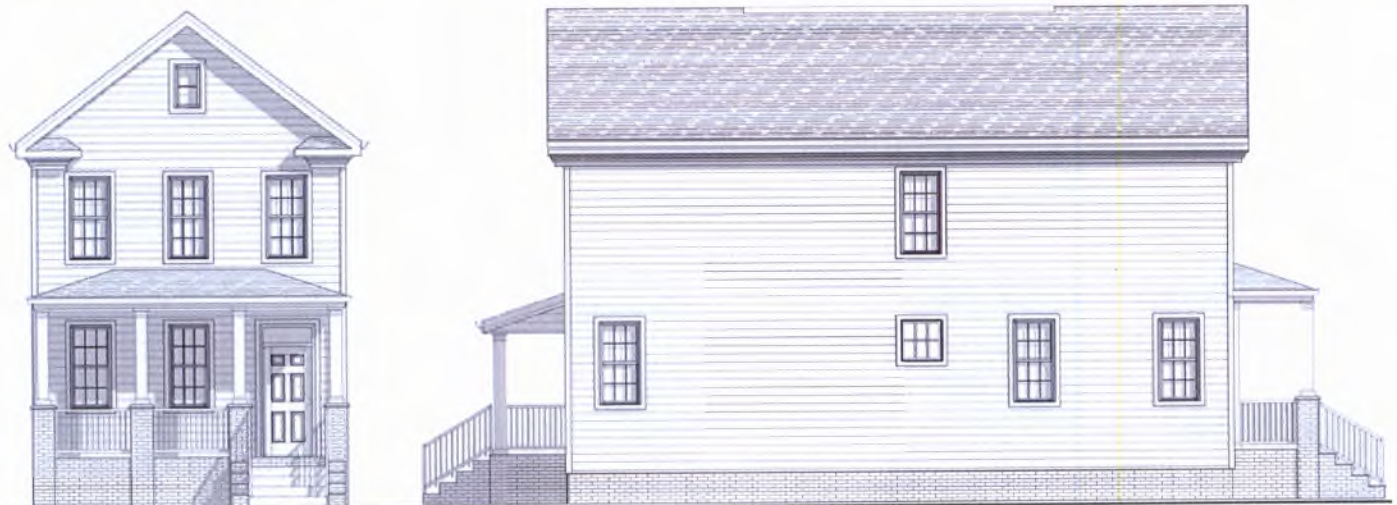
Second Floor Plan

ELEVATION OPTIONS

Gable Roof with Hipped Roof Porch



Perspective View



Front Elevation

Side Elevation

Rear Elevations



Design No. 1a_a



Design No. 1a_b



Design No. 1a_c

Gable Roof with Shed Roof Porch



Perspective View



Front Elevation



Side Elevation

Rear Elevations



Design No. 1b_a

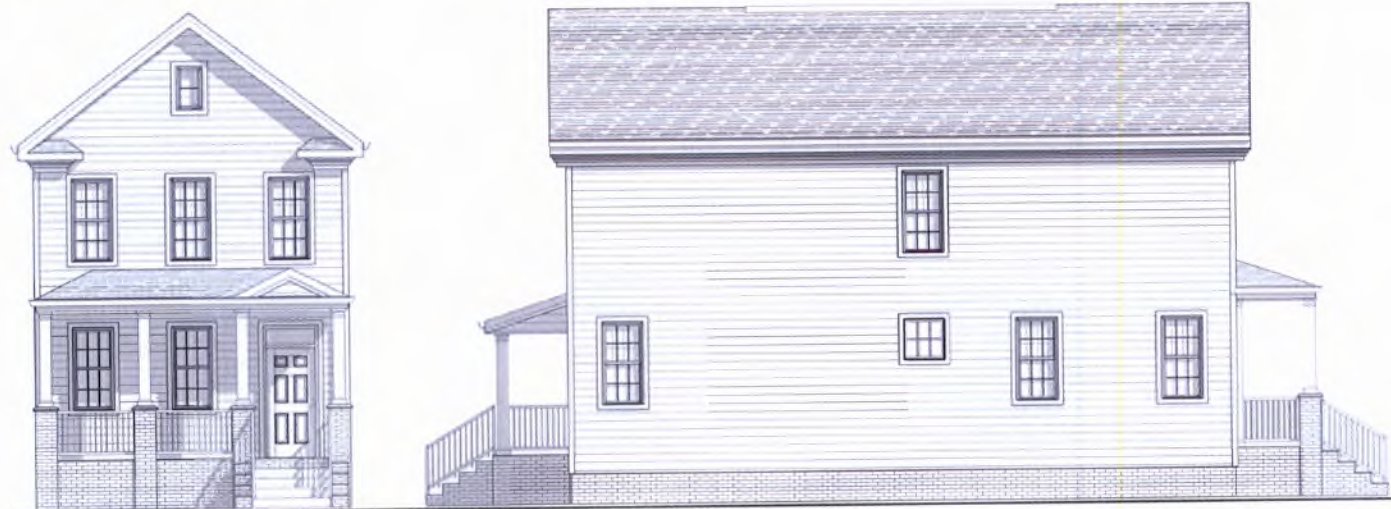
Design No. 1b_b

Design No. 1b_c

Gable Roof with Hipped/Pedimented Roof Porch



Perspective View



Front Elevation

Side Elevation

Rear Elevations



Design No. 1c_a

Design No. 1c_b

Design No. 1c_c

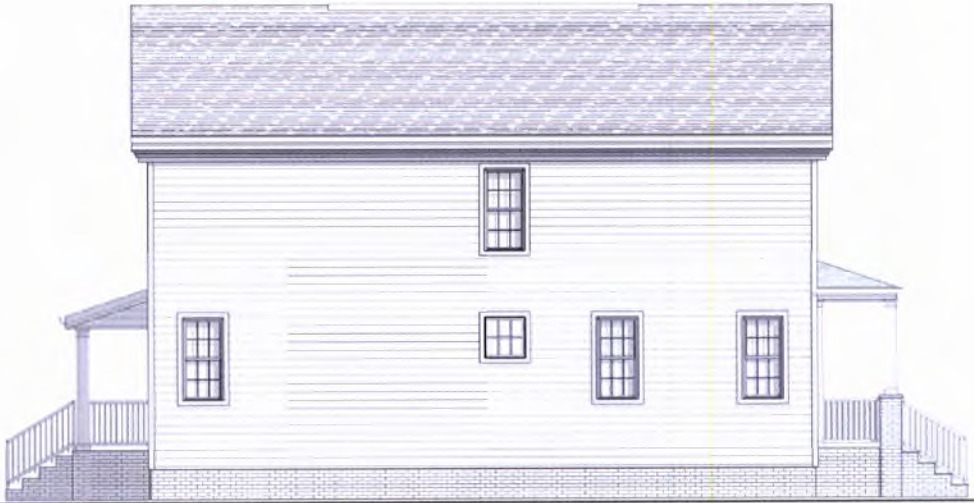
Gable Roof with Hipped Roof Porch w/full-height columns



Perspective View



Front Elevation



Side Elevation

Hipped Roof with Hipped Roof Porch



Perspective View



Front Elevation

Side Elevation

Hipped Roof with Shed Roof Porch



Perspective View



Front Elevation

Side Elevation

Hipped Roof with Hipped/Pedimented Roof Porch



Perspective View



Front Elevation

Side Elevation

Hipped Roof with Hipped Roof Porch w/full-height columns



Perspective View



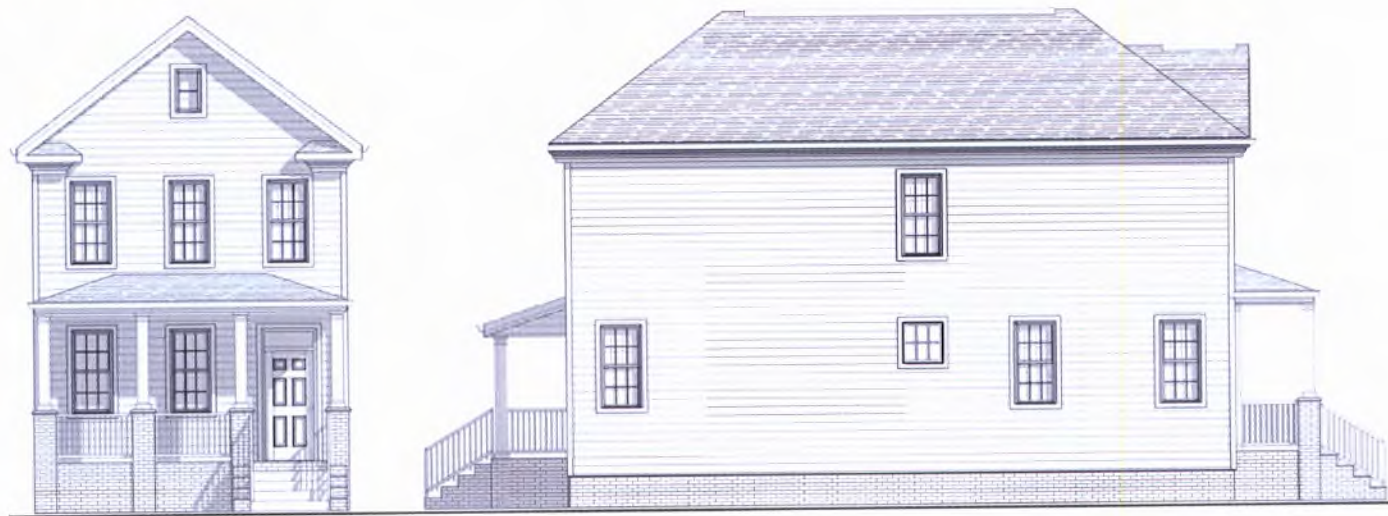
Front Elevation

Side Elevation

Hipped/Gable Roof with Hipped Roof Porch



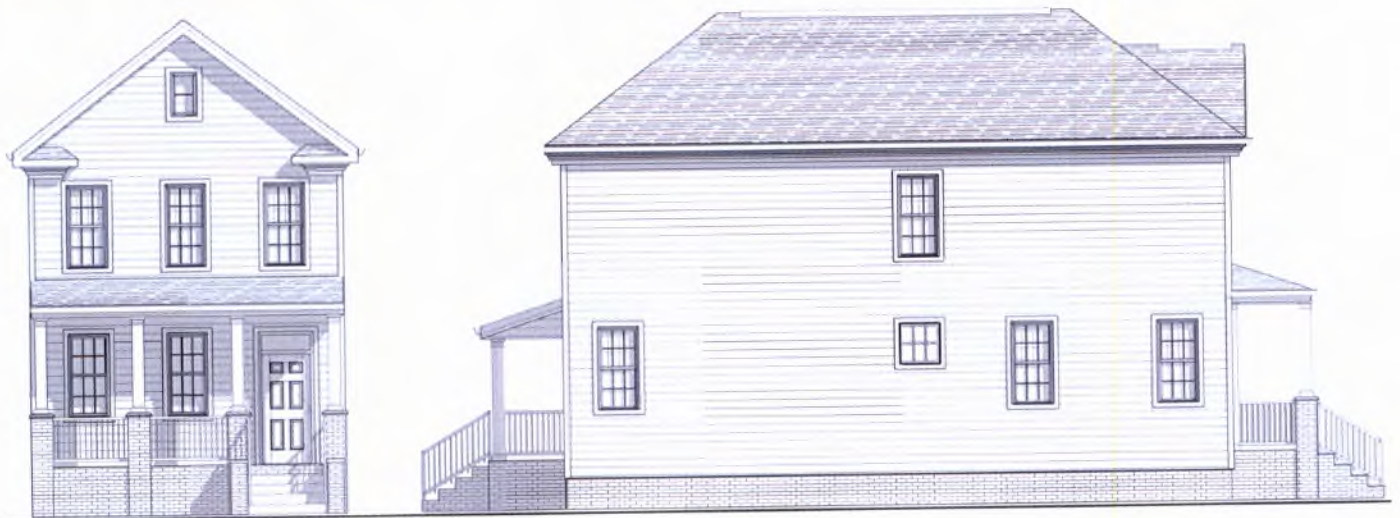
Perspective View



Hipped/Gable Roof with Shed Roof Porch



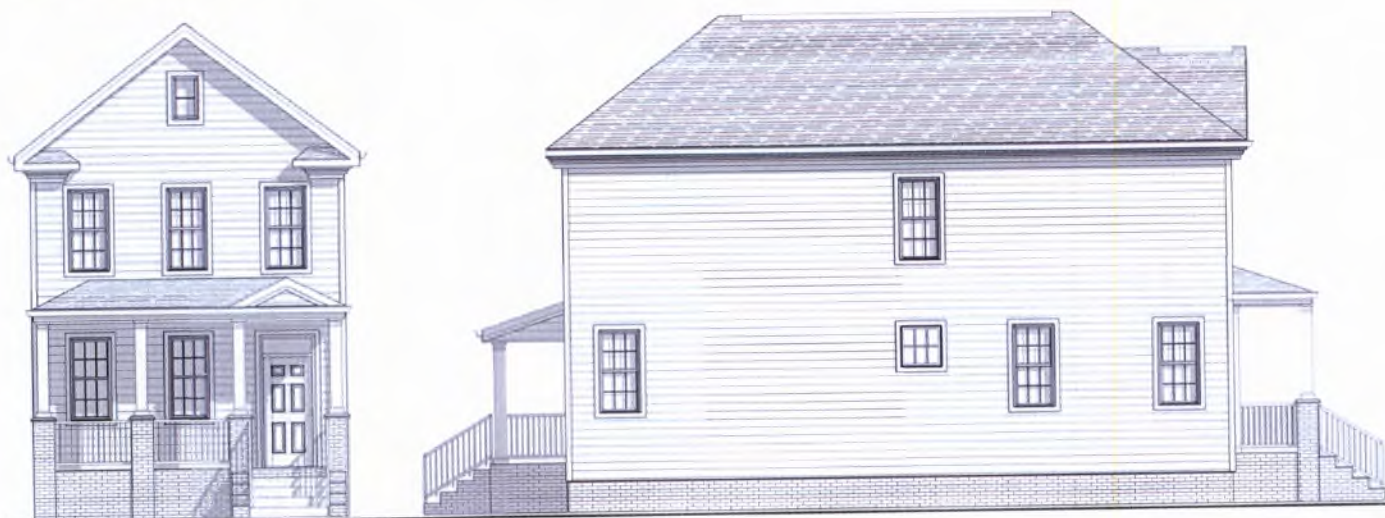
Perspective View



Hipped/Gable Roof with Hipped/Pedimented Roof Porch



Perspective View



Rear Elevations



Design No. 3c_a

Design No. 3c_b

Design No. 3c_c

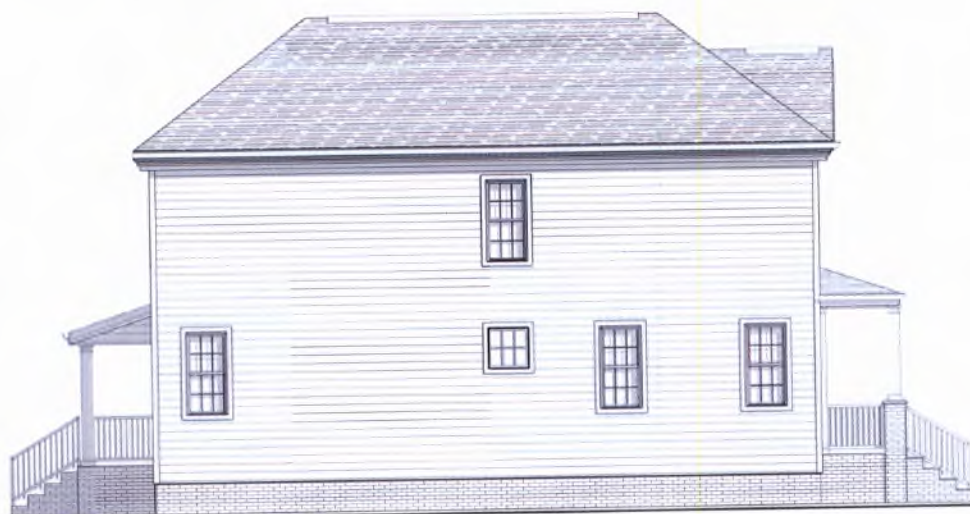
Hipped/Gable Roof w/ Hipped Roof Porch & full-height columns



Perspective View



Front Elevation



Side Elevation

Rear Elevations



Design No. 3d_a

Design No. 3d_b

Design No. 3d_c

Low-pitch Roof with Hipped Roof Porch

Note: This option is not compatible with the 50 foot-long house plan



Perspective View



Rear Elevations



Design No. 4a_a



Design No. 4a_b



Design No. 4a_c

Low-pitch Roof with Shed Roof Porch

Note: This option is not compatible with the 50 foot-long house plan



Perspective View



Rear Elevations



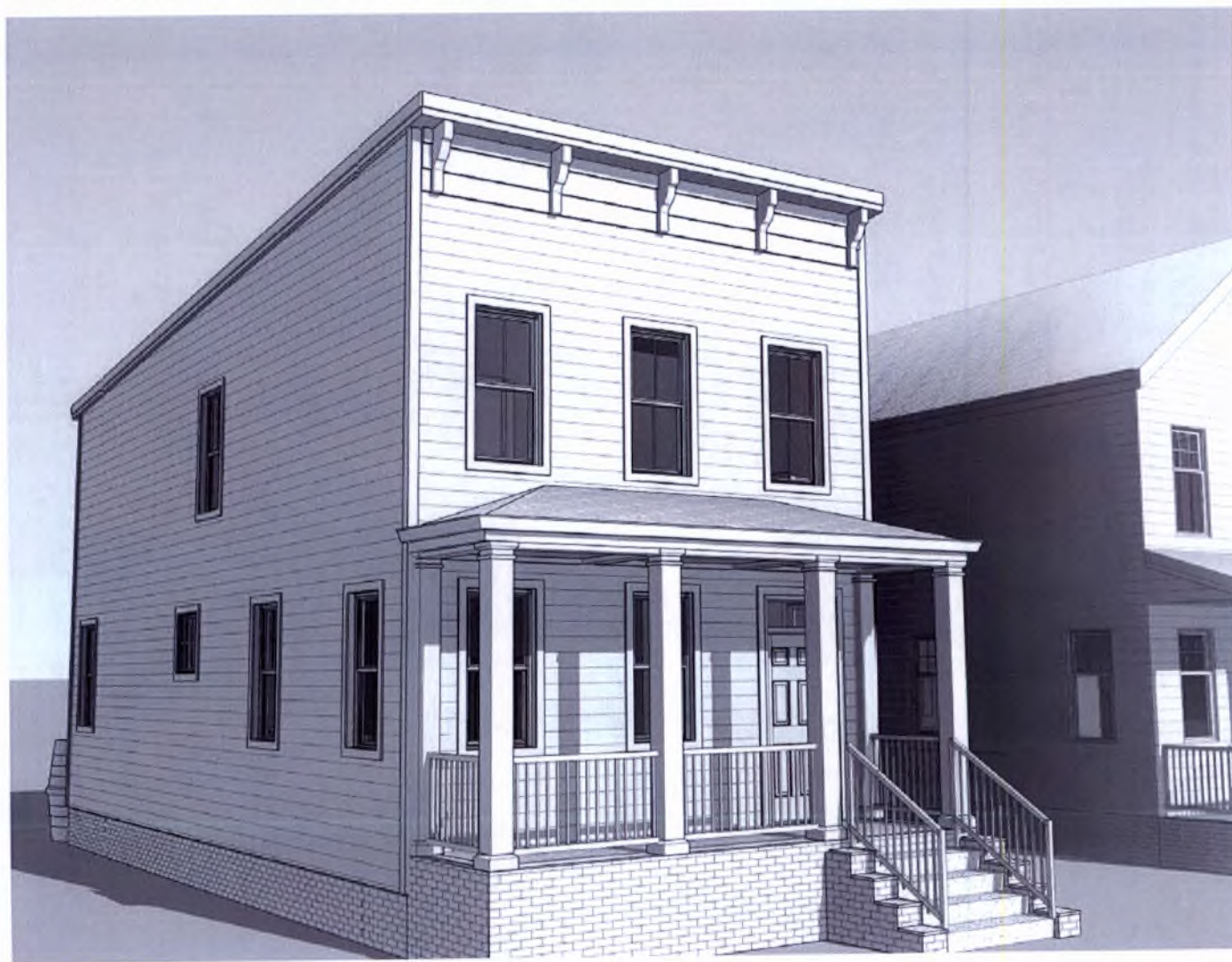
Design No. 4b_a

Design No. 4b_b

Design No. 4b_c

Low-pitch Roof with Hipped Roof Porch & full-height columns

Note: This option is not compatible with the 50 foot-long house plan



Perspective View



Front Elevation



Side Elevation

Rear Elevations



Design No. 4d_a

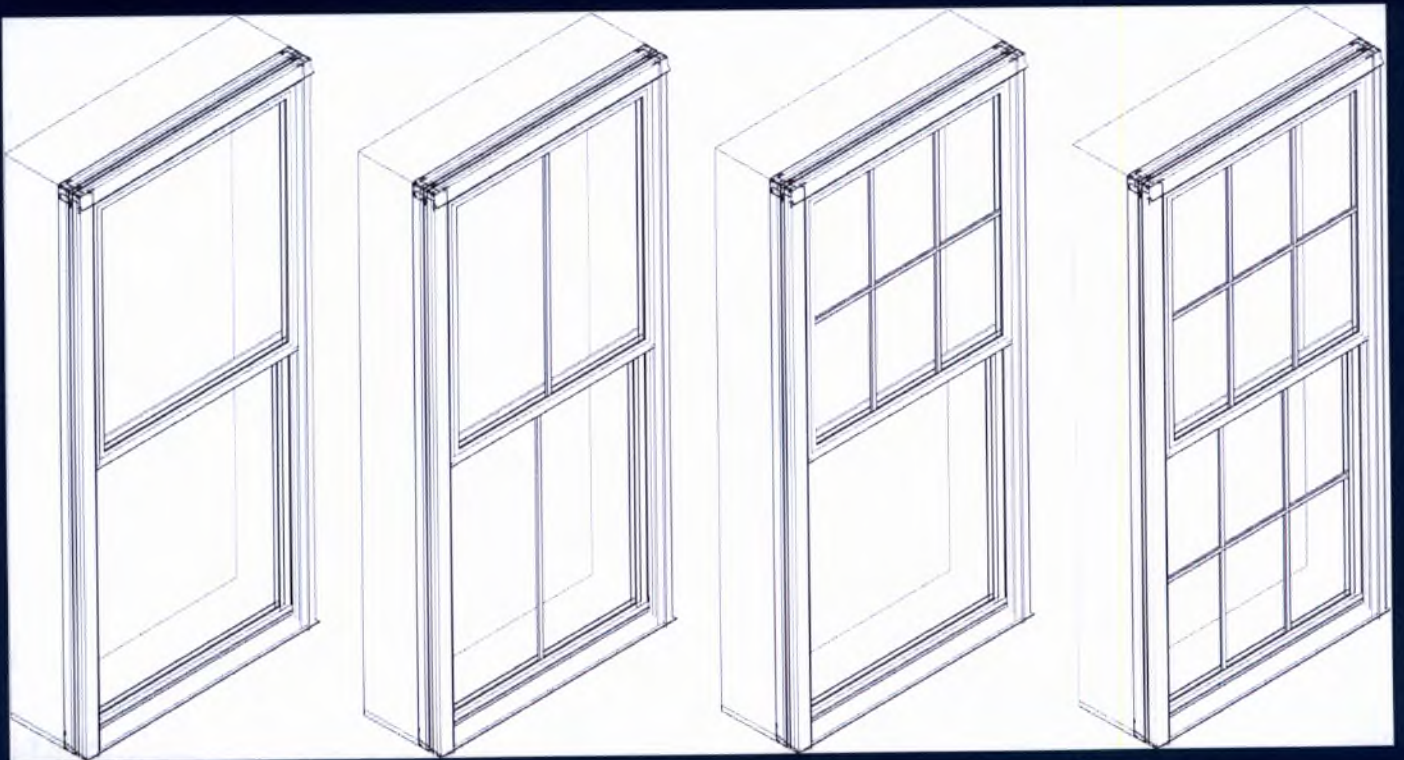


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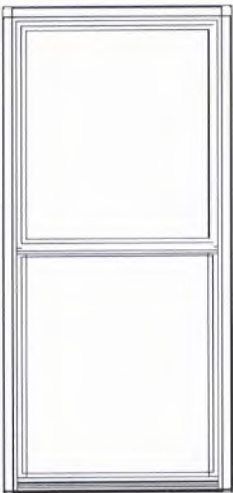


Design No. 4d_c

WINDOW OPTIONS



Window Types



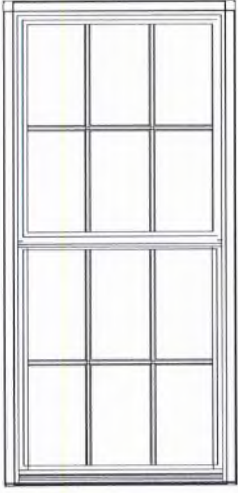
1 over 1



2 over 2

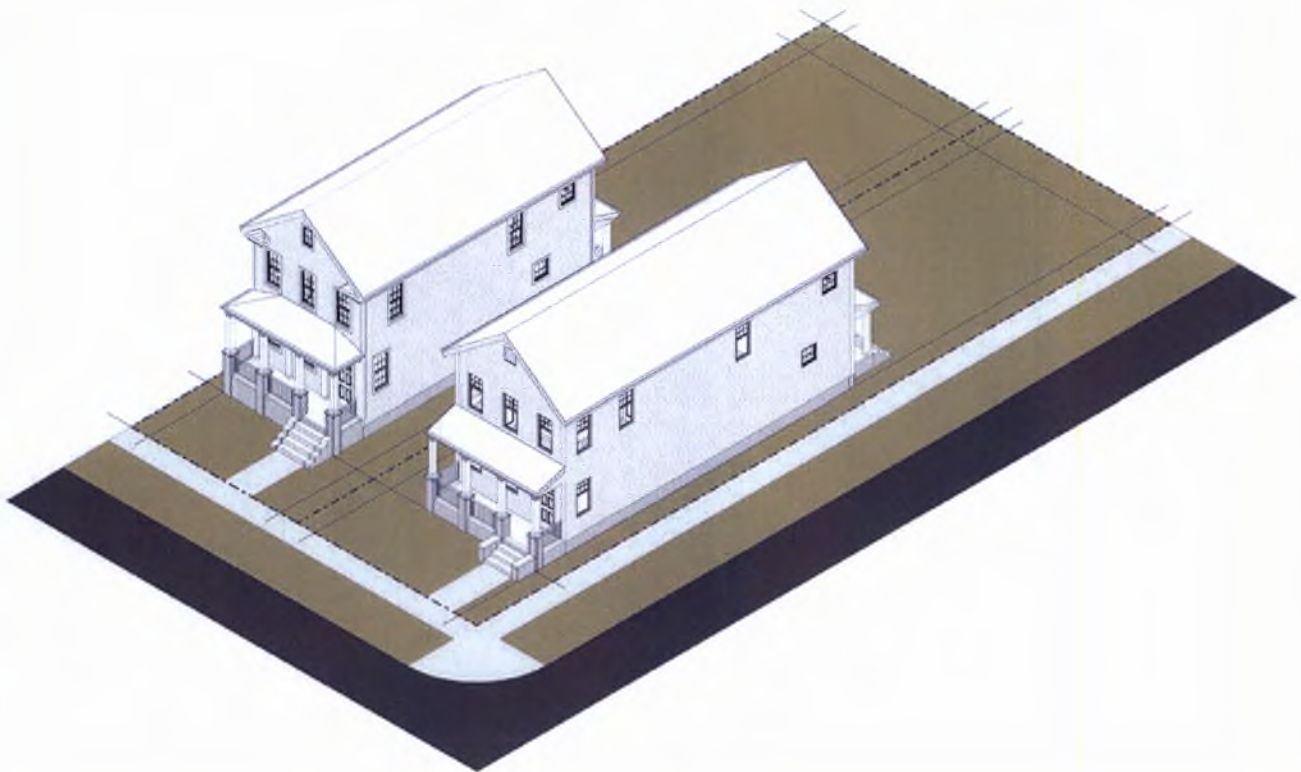


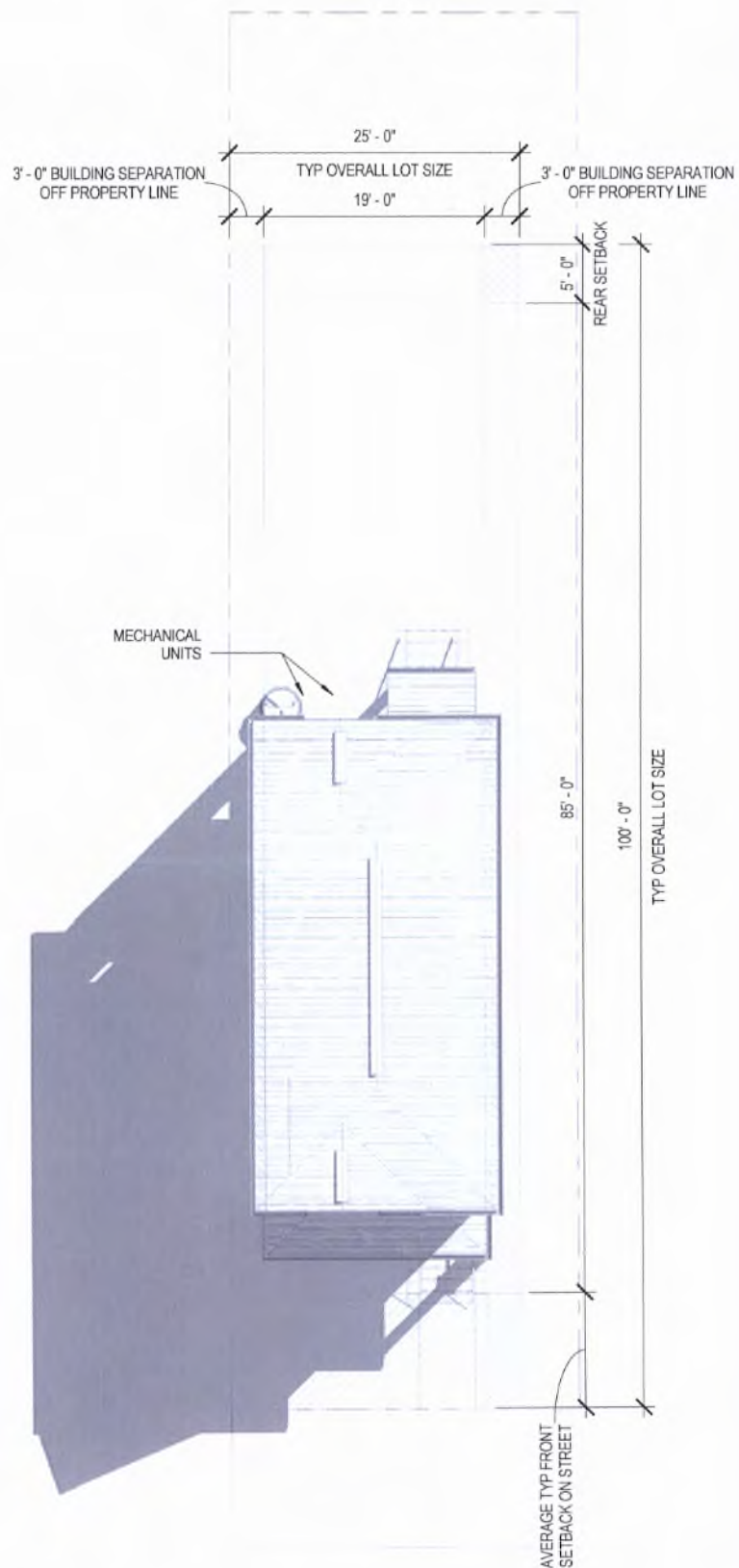
6 over 1



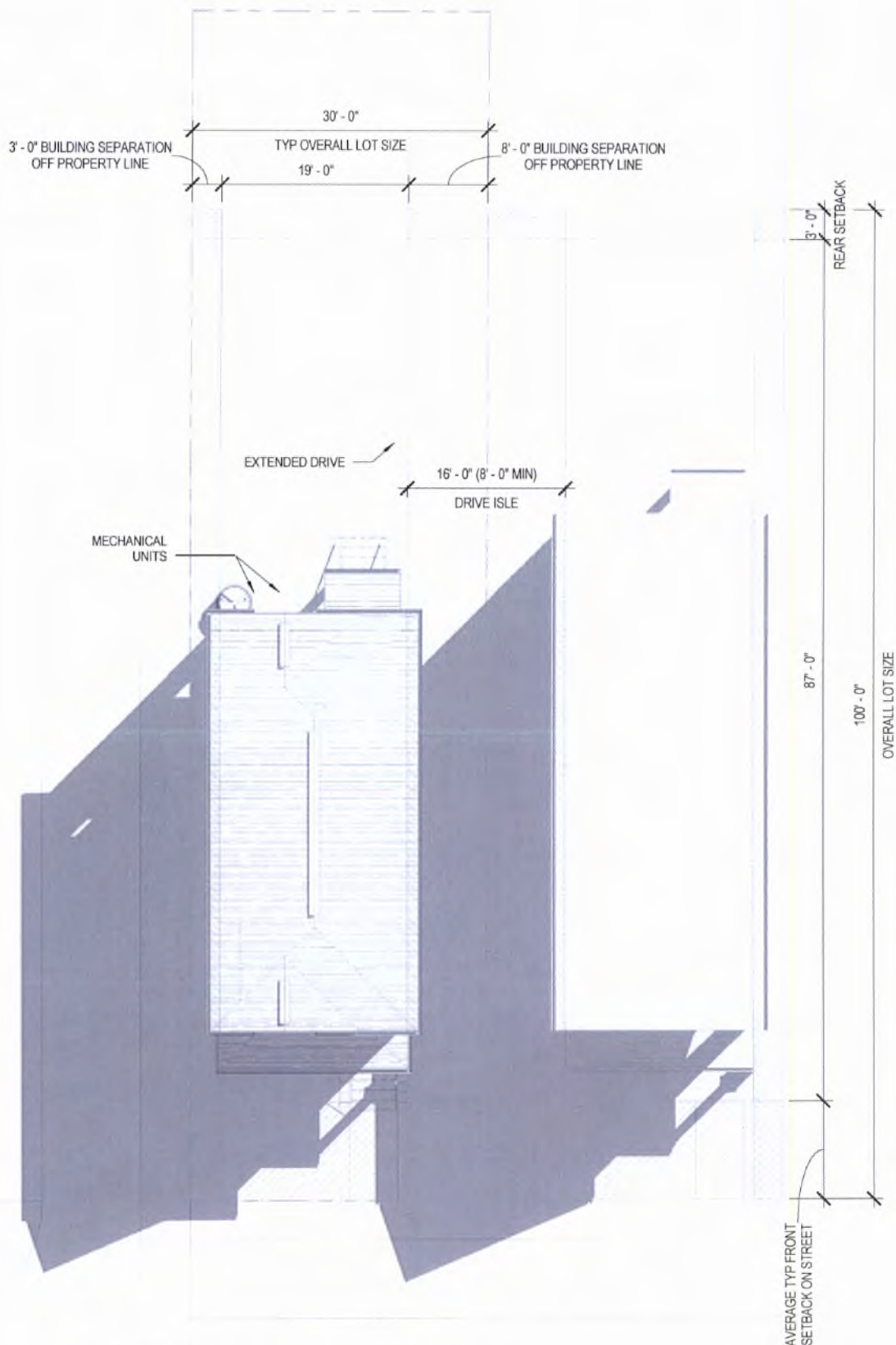
6 over 6

SITE PLACEMENT



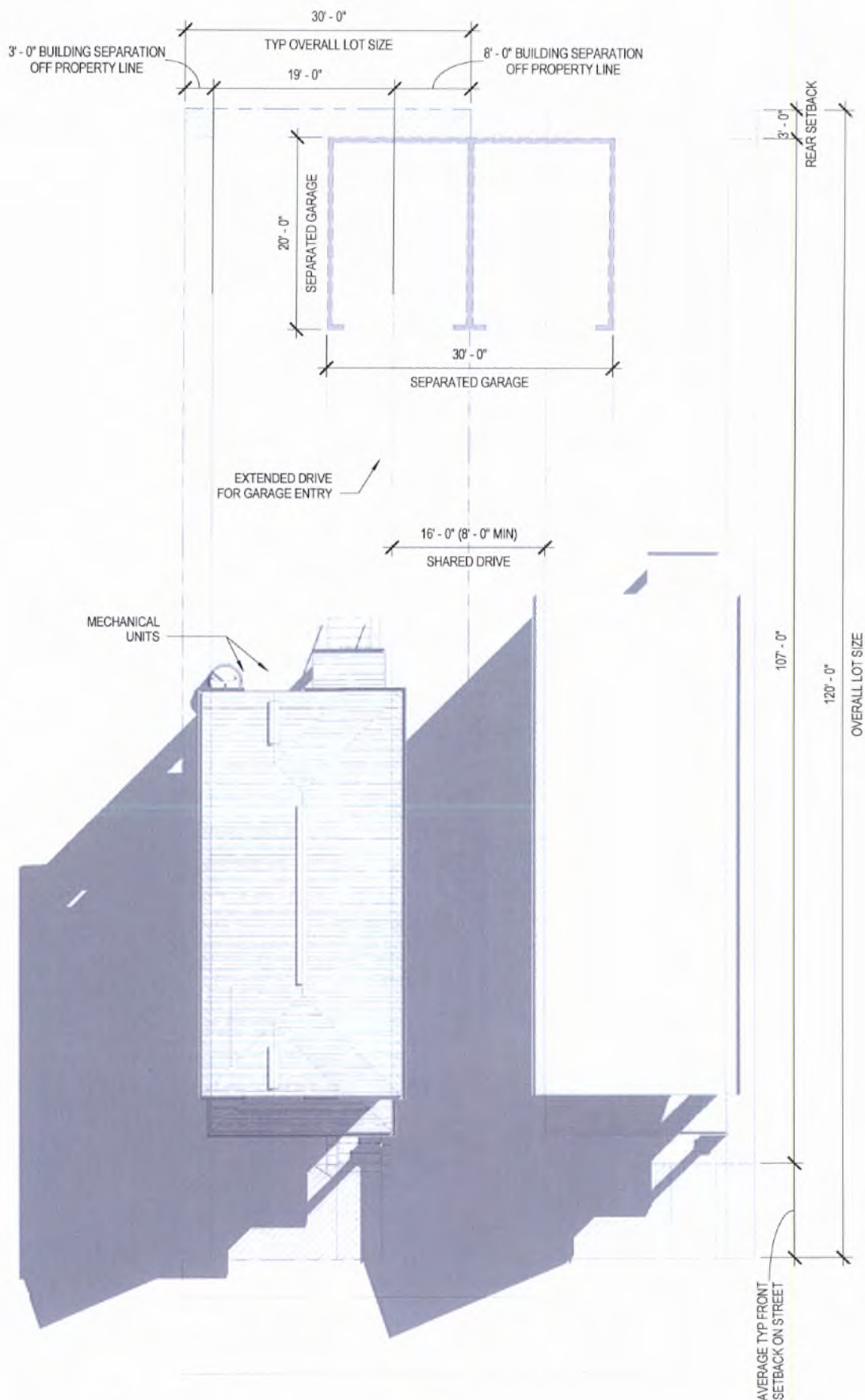


1
A100 | A100 — SITE PLAN - SINGLE 25'X100' - TYPICAL
1" = 10'-0"



2
A100 | A100

SITE PLAN - DOUBLE 30'x100' LOT
1" = 10'-0"



3
A100 A100 — SITE PLAN - DOUBLE 30'x120' LOT
1" = 10'-0"

EXTERIOR MATERIALS

Allowable Materials

note: indicates material only; color is up to the individual owner/builder

Roof



Architectural Shingles/
Slate Shingles

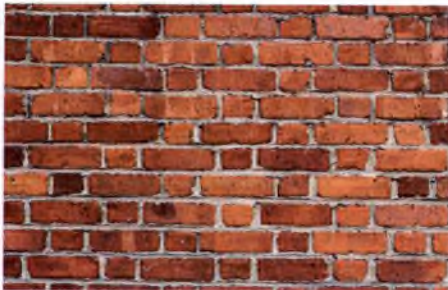


Cement or Terra Cotta
Shingles



Standing Seam

Cladding/Veneer - the following materials may all be used together (for example, brick base with siding at the first floor and shingles at the second floor)



Brick



Cementitious Siding/
Painted Cedar Siding

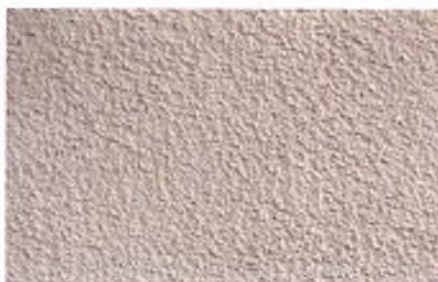


Cementitious Shingles
Painted Cedar Shingles

Base



Brick - must be used at the
front porch base



Stucco/Parged finish - may
be used around the remain-
ing building perimeter



Proposed *plaNorfolk2030* Amendments
(additions underlined)

1. Adopt *Traditional Neighborhood Plan Book* by reference into *plaNorfolk2030* by modifying the Table of Contents:

Appendix B. Adopted Plans, Policies and Supplements

City of Norfolk Chesapeake Bay Preservation Area Program Supplement

City of Norfolk Bicycle and Pedestrian Strategic Plan

Complete Streets Policy

Sand Management Plan (SMP) Guidance Document

Traditional Neighborhood Plan Book

Vision 2100

2. Add the following actions to the Huntersville area summary in the Neighborhood Chapter:
 - N5.1.15(c). Better identify Huntersville and improve its image with tools such as gateway signage, landscaping, lighting, banners, public art, and enhanced crosswalks.
 - N5.1.15(d). Encourage land uses and businesses that are compatible with the neighborhood by utilizing zoning tools such as conditional zoning.
 - N5.1.15(e). Support business development that provides employment through workforce development initiatives.
 - N5.1.15(f). Upgrade and expand recreational opportunities by renovating the Huntersville community center and expanding programming opportunities.
 - N5.1.15(g). Improve the physical condition of the neighborhood through code enforcement, landlord and tenant outreach, and participation in other rental education programs.
 - N5.1.15(h). Reduce speeding in the neighborhood with various traffic calming measures such as electronic surveillance.
 - N5.1.15(i). Support transit use by evaluating the appropriateness of existing bus stop locations and installing bus shelters and trash containers.
 - N5.1.15(j). Enhance neighborhood safety by encouraging neighborhood activities such as the Neighborhood Watch Program and by addressing trespassing and loitering issues.
 - N5.1.15(k). Ensure quality infill development that preserves affordability by creating a plan book and creating development opportunities on vacant lots.
 - N5.1.15(l). Explore tools and funding sources for rehabilitation of existing housing.
3. Make the following additions to the Implementation Matrix:

Table P-1. Implementation Matrix

IMPLEMENTATION ITEM	ACTION	LEAD RESPONSIBILITY	TIMEFRAME FOR COMPLETION	COST CATEGORY	COMMENTS
Neighborhoods Goal 5. Continue the implementation of area plans.					
Outcome NS.1. Support for the following actions in designated areas.	NS.1.15	Continue to implement the following actions for the Huntersville area.			
	Huntersville	NS.1.15(a). Develop and implement a streetscape plan to improve the appearance of Tidewater Drive.	RPOS; PW; Planning	Mid-Term	Several Million
		NS.1.15(b). Evaluate possible alternatives for extending light rail from Downtown to the north along Church Street.	PW; Planning; HRT	Mid-Term	\$250,000 to \$1 Million
		NS.1.15(c). Better identify Huntersville and improve its image with tools such as gateway signage, landscaping, lighting, banners, public art, and enhanced crosswalks.	PW; RPOS; CF	Mid-Term	\$250,000 to \$1 Million
		NS.1.15(d). Encourage land uses and businesses that are compatible with the neighborhood by utilizing zoning tools such as conditional zoning.	Planning	Ongoing	Existing Resources
		NS.1.15(e). Support business development that provides employment through workforce development initiatives.	Development; NRHA	Ongoing	Existing Resources
		NS.1.15(f). Upgrade and expand recreational opportunities by renovating the Huntersville community center and expanding programming opportunities.	RPOS; GS	Long-Term	Over \$1 million
		NS.1.15(g). Improve the physical condition of the neighborhood through code enforcement, landlord and tenant outreach, and participation in other rental education programs.	ND	Ongoing	Existing Resources
		NS.1.15(h). Reduce speeding in the neighborhood with various traffic calming measures such as electronic surveillance.	Police; PW	Mid-Term	\$100,000 to \$250,000
		NS.1.15(i). Support transit use by evaluating the appropriateness of existing bus stop locations and installing bus shelters and trash containers.	PW; HRT	Short-Term	Up to \$100,000
		NS.1.15(j). Enhance neighborhood safety by encouraging neighborhood activities such as the Neighborhood Watch Program and by addressing trespassing and loitering issues.	Police; ND	Immediate	Existing Resources
		NS.1.15(k). Ensure quality infill development that preserves affordability by creating a plan book and creating development opportunities on vacant lots.	Planning	Immediate	Up to \$100,000
		NS.1.15(l). Explore tools and funding sources for rehabilitation of existing housing.	ND	Immediate	Existing Resources

New Huntersville Zoning Classification
Single Family – Traditional

EXHIBIT A

4-17 Single Family – Traditional (SF-T)

4-17.1 *Purpose statement.* The purpose of the Single Family - Traditional district is to allow for development of single-family detached dwellings in the Traditional Character District at higher densities that are more consistent with older, walkable neighborhoods in Norfolk that were first established in the early 20th Century. District regulations are designed to discourage development that interferes with the quiet residential nature of these traditional neighborhoods.

4-17.2 *Uses.* Uses in the SF-T district as specified in Table 4-A, Land Uses for Residential Districts, are permitted as of right or by special exception, subject to the general provisions set forth in section 4-0.

4-17.3 *Special design regulations for narrow lots.* Because the SF-T district allows for a traditional development pattern of single-family detached dwellings on narrow lots, the following additional requirements are designed to ensure the compatibility of lots as narrow as 25 feet in width.

(a) *Lot size.* The minimum lot areas and lot widths permitted in this district are as follows:

Permitted Use	Minimum Lot Area	Minimum Lot Width
<i>(a) Principal Permitted Uses</i>		
Residential – single-family dwelling constructed to conform to any of the house plans shown in City of Norfolk “Traditional Neighborhood Plan Book” ¹	2,500 sq. ft.	25 ft.
Residential – single-family dwelling constructed to conform to all conditions of a special exception authorizing the dwelling, in accordance with the procedures set forth in Article V, Chapter 25 of this ordinance ²	2,500 sq. ft.	25 ft.
Residential – all other single-family dwellings	5,000 sq. ft.	50 ft.
<i>(b) Other Permitted Uses</i>		
Governmental Operations (non-industrial)	none	none
Utility Facility	none	none
All other permitted uses	5,000 sq. ft.	50 ft.
Notes: ¹ If multiple new residences are developed on adjacent lots or the same block face, the Zoning Administrator shall require that the plans selected from the Plan Book shall demonstrate appropriate differences.		

New Huntersville Zoning Classification
Single Family – Traditional

² As part of the special exception process, the proposed design of the single-family dwelling shall be required to undergo review by the Architectural Review Board (ARB) which shall issue a recommendation to the city planning commission prior to the commissions' public hearing required under section 25-5.3 of this ordinance.

4-17.4 *Development standards.*

- (a) *Yard requirements.* The yard requirements for the SF-T District are set forth in Table 4-B, below.
- (b) *Building form standards for single-family dwellings.* The following building form standards shall apply to all single-family dwellings:
 - (1) *Build-to line.*
 - (A) *General rule.* At least 75% of the width of the ground floor front, façade of all principal buildings shall be located not less than nine (9) feet and not more than 12 feet from the front property line.
 - (B) *Special rule for irregular blocks.* If not less than 25% of the block face frontage includes buildings with front yard depths greater or less than the range set forth in subsection (A), above, the Zoning Administrator may determine that the applicable build-to line is the average of the location of the front façades of buildings along the block face, in which case 75% of the width of the front façade of all principal buildings shall be located within 1.5 feet of the applicable build-to line. In making such a determination, the Zoning Administrator may elect to ignore non-conforming uses and structures, in whole or in part, to ensure compatibility with conforming structures and uses along the block face.
 - (2) *Building orientation.* Primary entrances of every principal building shall face the street. On corner lots, primary entrances of principal buildings shall face the street which most buildings in the vicinity face.
 - (3) *Building height.* Principal buildings must be not less than 20 feet and not more than 35 feet in height.
 - (4) *Ground floor height.* The ground floor of every principal building shall be elevated not less than 1.5 feet above the highest grade adjacent to any point of the building.
 - (5) *Front porch.* Ground story front porches extending toward the street from the front façade are required. Front porches shall be a minimum of six (6) feet in depth and a minimum of eight (8) feet in width. Second floor porches are permitted.
 - (6) *Attached garage.*
 - (A) *Front-loaded garage.* A front-loaded, attached garage is discouraged but, if provided, shall be set back not less than 15 feet from the ground floor,

1340 Bolton Street, Llc
1340 Bolton St
Norfolk VA 23504-2803

1450 Calhoun St Prose Family Trust
3347 Morning Mist Ln
Toano VA 23168-9629

1703, Llc
1703 Cloncurry Rd
Norfolk VA 23505-1718

1761 Church Street, Llc
1761 Church St
Norfolk VA 23504-2313

3 Fold Realty Llc
1308 Simon Dr
Chesapeake VA 23320

742-746 Lexington Avenue, Llc
3901 Granby St
Norfolk VA 23504-1201

765 Washington Avenue Llc
765 Washington Ave
Norfolk VA 23504-2442

859 Lexington Street Assoc Llc
Po Box 6040
Norfolk VA 23508-0040

A M E Zion Church
708 Johnson Ave
Norfolk VA 23504-2718

A M's Auto Repairs Inc
1855 Church St
Norfolk VA 23504

Aaron, Ryan & Jones Auctions Inc
612 Charlecote Dr
Virginia Beach VA 23464

Abdal, Jassem M
14 Normandy Ln
Newport News VA 23606-1516

Abeng, Reynaldo A & Isabelita L
4117 Mystic Cv
Chesapeake VA 23321-6004

Absolute Investments Corp
1753 Joplin Ln
Virginia Beach VA 23464-6564

Adams, Shelia K & Luther R Sr
1814 Okeefe St
Norfolk VA 23504-2441

Adeptus Development, Llc
145 Granby St Ste 421
Norfolk VA 23510-1612

Adwig Corporation
160 Newtown Rd Ste 311
Virginia Beach VA 23462-2401

Agbai, Udeagha A
1018 Railroad Ave
Chesapeake VA 23324-2705

Akers, Jon Michael H
732 B Ave
Norfolk VA 23504-2407

Aldridge, Kimberly
1405 Church St
Norfolk VA 23504-2414

Alexander, Devin J & Lanoda
876 Lexington St
Norfolk VA 23504-2429

Allen, Denise D
1324 Church St
Norfolk VA 23504

Allen, Lorenzo & Cynthia
898 Fremont St
Norfolk VA 23504-2453

Alston, Alicia D
1031 Wall St
Norfolk VA 23504-2127

Alston, Naomi
1820 Carswell St
Norfolk VA 23504-2517

Alyamani, Albert Ali
1021 Galt St
Norfolk VA 23504-2541

Alyamani, Albert Et Al
844 Lexington St
Norfolk VA 23504-2429

Al-Yamani, Nidal Ali
411 W 28th St Apt C
Norfolk VA 23508-3349

American Cigar Factory, Llc
520 W 21st St Ste G2-110
Norfolk VA 23517-1950

American Estate & Trust Fbo Harris,
Charles
1128 Goff St
Norfolk VA 23504

Am's Auto Repair, Inc
1855 Church St
Norfolk VA 23504-2330

Andrew, Palea N
1715 Hunter St
Norfolk VA 23504-2424

Anthony, Herman Jr & Sarah E
710 Howard Pl
Norfolk VA 23504-2722

Arid, Khalid Al
711 Virginia Ave
Norfolk VA 23508-2947

Armstead, Kenneth N Et Als
850 E Virginia Beach Blvd Apt 103
Norfolk VA 23504-3227

Arrington, Leisa A
1722 Hunter St
Norfolk VA 23504-2425

Artis, Corliss E
847 Avenue A
Norfolk VA 23504

Assurance Properties, Llc
1206 Laskin Rd Ste 201
Virginia Beach VA 23451-5263

Asun Properties, Llc
1342 Reservoir Ave
Norfolk VA 23504-2936

Atanga, George N
810 Washington Ave
Norfolk VA 23504-2444

Atkins, Christopher & Lakisha
1324 Bolton St
Norfolk VA 23504-2803

Atlantic Recycling Llc
Po Box 1589
Suffolk VA 23439-1589

Azenvedo, Antonio Decosta
1352 Bolton St
Norfolk VA 23504-2803

Azevedo, Antonio
3729 Dupont Cir
Virginia Beach VA 23455-1671

Azevedo, Antonio D
2408 Julie Ct
Virginia Beach VA 23454-3963

Azevedo, Tony Et Al
332 W Palmetto St
Kill Devil Hills NC 27948

B&N Associates Inc
736 Lexington St
Norfolk VA 23504

Bacon, Archie D W Et Als
1401 Suffield Cir
Virginia Beach VA 23456-4826

Bagley, Kim Evangelia
724 Washington Ave
Norfolk VA 23504-2443

Bailey, Arthur L
939 Galt St
Norfolk VA 23504-2525

Bailey, Donald W Et Al
513 Roosevelt Blvd
Portsmouth VA 23701

Bailey, Keith
5539 Brickell Rd
Norfolk VA 23502-3522

Bailey, Keith Haywood
972 Saint Julian Ave
Norfolk VA 23504-2822

Bailey, Zaneta A & Ruth L
733 Lexington St
Norfolk VA 23504-2426

Baker & Hitchings Norfolk, Llc
Po Box 1896
Norfolk VA 23501-1896

Baker And Hitchings Of Norfolk, Llc
2043 Church St
Norfolk VA 23504-2332

Baker, Carolyn
1265 Tidewater Dr
Norfolk VA 23504-2830

Banks, Makisha D
1717 Hunter St
Norfolk VA 23504-2449

Barayev, Yuriy
14735 84th Rd
Jamaica NY 11435-2237

Barber, Tonya C
1363 Bolton St
Norfolk VA 23504-2836

Barker, Todd Et Al
739 Johnson Ave
Norfolk VA 23504-2736

Barnes, Deborah
1536 Dungee St
Norfolk VA 23504-2523

Barnett, Stanley T Jr & Zella J
639 Georgia Ave
Norfolk VA 23508-2911

Baskerville, Orian V
1003 Rugby St
Norfolk VA 23504-2115

Baskerville, Orian V & Walter R Jr
989 Rugby St
Norfolk VA 23504-2156

Batey, Marion Grant Jr
832 Johnson Ave
Norfolk VA 23504-2720

Bct Associates Llc Et Als
845 Fremont St
Norfolk VA 23504-2418

Beasley, Carolyn C
737 C Ave
Norfolk VA 23504-2410

Belin, Sharon
944 Pollard St
Norfolk VA 23504-1932

Bender, Compton
4019 Sea Cliff Rd
Chesapeake VA 23321-3419

Bennett, Anita
5193 Engle Run Rd
Virginia Beach VA 23464-0000

Benyard, Ruthie M
963 Saint Julian Ave
Norfolk VA 23504-2821

Bermuda Brothers, Llc
925 Canterwood Ct
Virginia Beach VA 23462-4615

Bess, Earnest Lee Jr
961 Rugby St
Norfolk VA 23504-2156

Bethea, Nikita R & Robert L Jr
236 Dexter St E
Chesapeake VA 23324-3057

Bethea, Robert L & Naomi H
236 Dexter St E
Chesapeake VA 23324-3057

Bethea, Timothy L & Reginald C
236 Dexter St E
Chesapeake VA 23324-3057

Beverly Holdings, Llc
3800 Poplar Hill Rd Ste A
Chesapeake VA 23321-5518

Beverly, Verna Mae Et Al
1261 Tidewater Dr
Norfolk VA 23504-2830

Beyond The Boots, Llc
2917 Hollister Ave
Norfolk VA 23504-3827

Blackwell, Roosevelt & Lula M
989 Denhart St
Norfolk VA 23504-2807

Blackwell, Sean & Tekita
130 S Fifth St
Hampton VA 23664-1308

Bland, La Rosa Et Al
932 Sutton St
Norfolk VA 23504-2532

Blount, Joshua C & Deloris
987 Washington Ave
Norfolk VA 23504-2556

Blount, Katherine
1320 Church St
Norfolk VA 23504-4712

Blow, Alice R
1030 Barney St
Norfolk VA 23504-2510

Bolitho, Carl G Et Al
1516 Church St
Norfolk VA 23504-2310

Bolling, Melvina T
750 Johnson Ave
Norfolk VA 23504-2718

Bond, James & Sharon
2404 Crown Ct
Chesapeake VA 23325-4410

Boone, Patrice N
1332 Church St
Norfolk VA 23504

Bosso, Daniel
13607 Avebury Dr Apt 34
Laurel MD 20708-3444

Bostick, Timothy S & Serita P
918 Fremont St
Norfolk VA 23504-2421

Bowe, Audrey D Et Als
9347 Cabot Ct
Laurel MD 20723-1759

Boyd, Joseph D li
Po Box 9665
Norfolk VA 23505-0665

Branch Banking & Trust Company
200 W 2nd St 3rd Floor
Winston-Salem NC 27101-4019

Branch, Queenie L & Reginald
1005 Marietta Ave
Norfolk VA 23513-3105

Branch, Reginald M. & Queenie L.
1005 Marietta Ave
Norfolk VA 23513-3105

Braswell, Robert & Patricia
1305 Church St
Norfolk VA 23504-2708

Braxton, Kelly D
2311 Ruffin St
Norfolk VA 23504-2129

Bray, Ruth
725 Lexington St
Norfolk VA 23504-2426

Brickhouse, Ronnie A
2125 Keller Ave
Norfolk VA 23504-3106

Brinson, James
1830 E Lexington St
Norfolk VA 23504-2524

Brooks, Jestine O
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Norfolk VA 23501-1465

Brothers, Clifton L
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Norfolk VA 23504-2439

Brown, Addison A Et Als
512 Shadow Brooke Dr
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Brown, Casberk O & Vanessa M
3705 Peterson St
Norfolk VA 23513-4242

Brown, Jeffery Et Al
1811 Tidewater Dr
Norfolk VA 23504-2507

Brown, Luchristian V
207 W 31st St
Norfolk VA 23504

Brown, Melvin L & Dorothy C
971 Galt St
Norfolk VA 23504-2540

Brown, Reva G
964 Pollard St
Norfolk VA 23504-1916

Brown, Rhoda & Moses E
530 Manhattan Ave Apt 43
New York City NY 10027-5220

Brown, Ricky L, li
850 B Ave
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Brown, Robert H Jr
1355 Bolton St
Norfolk VA 23504-2836

Brown, Rosalind
947 Galt St
Norfolk VA 23504-2525

Brown, Shirley A
89 E Farm St
Waterbury CT 06704-3602

Brown, Thelma L
1833 E Lexington St
Norfolk VA 23504-2524

Brown, Tiffany A
762 Fremont St
Norfolk VA 23504-2417

Bruce, Jermaine
835 Johnson Ave
Norfolk VA 23504-2719

Bruce, Viola & Jermaine
835 Johnson Ave
Norfolk VA 23504-2719

Bryant, Kenneth
1321 Church St
Norfolk VA 23504-2708

Buie, Annie C & Florence N
1429 Chapel St
Norfolk VA 23504-2518

Burke, Anthony Dariel
1539 Dungee St
Norfolk VA 23504-2522

Burns, Edna D W
823 Washington Ave
Norfolk VA 23504-2461

Bussey, Estelle E
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Chesapeake VA 23323-1738

Butler, Mahala L Et Al
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Norfolk VA 23508-2203

Byrd, Leha
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Byrd, M Teresa
1304 Church St
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C E F Enterprise, Llc
4209 Marchris Ct
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C I C As Trustee
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Norfolk VA 23518-2322

Calabrase, Rosa L
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Portsmouth VA 23701-3919

Campbell, Albert L
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Campbell, Talib
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Norfolk VA 23513-4416

Cando, David & Karen
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Carrington, Grantley & Susie
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Carter, Ernest W Iii
1806 Barre St
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Carter, Rodney A Sr Et Al
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Ch Of God & True Holiness, Trs
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Chacha, Llc
3672 Criollo Dr
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Chatman, Rory
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Chen, Tao
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Coerse Enterprises, Llc
2500 Rowan Pl
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Cofield & Associates, Llc
877 Fontaine Ave
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Coleman, Delavisa Matthews
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Coley, Haywood L
714 Fremont St
Norfolk VA 23504-2417

Collins, Anthony C
982 Washington Ave
Norfolk VA 23504-2557

Collins, Randy & Katherine
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Colson, Doretha Et Al
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Converting Lifestyles, Inc
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Cook, Hattie
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Copeland, Sheila R
1009 Anderson St
Norfolk VA 23504-2501

Cordon, Ovidio
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Norfolk VA 23513-2206

Cortes, Carlos
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Norfolk VA 23504-2429

Costa, Yvonne S Et Al
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Costin, Berlado A & Brenda L
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Virginia Beach VA 23456-8131

Coston, Cornelius Est
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Covington, Therell
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Craft, Mattie M.
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Norfolk VA 23504-2462

Craig, Ashley
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Norfolk VA 23504-2811

Craig, Noel P
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Norfolk VA 23504-2414

Crawford, Michael
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Cromer, Craig A
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Crooms, Voris D
2311 Tidewater Dr
Norfolk VA 23504

Crothers, Adam M
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Norfolk VA 23504-2805

Cuffee, Anthony K & Lynette
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Cuffee, Edward R Jr & Deloris A
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Curry, Bernard N
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D&B Properties, Inc
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Chesapeake VA 23320-2646

Daben Properties, Llc
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Odenton MD 21113-2625

Dalai, Zahra
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Norfolk VA 23504-2427

Dalai, Mohamad
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Virginia Beach VA 23452-5256

Dalton, Rebekah E & David L
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Norfolk VA 23504-2543

Dang Properties Llc 716 Lexington Sr
3689 Storm Bird Loop
Virginia Beach VA 23453-2258

Dang Properties Llc 863 Johnson Seri
3689 Storm Bird Loop
Virginia Beach VA 23453-2258

Daniel, Joyce D
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1119 Smith St
Norfolk VA 23510-3127

Daniels, Marvin D
1818 Bracey St
Norfolk VA 23504-2515

Daniels, Rodney
312 Conservation Xing
Chesapeake VA 23320-6999

Darby, Mable T & Clarence
1540 Dungee St
Norfolk VA 23504-2523

Davis, Jeannie
946 Pollard St
Norfolk VA 23504-1932

Davis, Joan Y
1346 Bolton St
Norfolk VA 23504-2803

Davis, Lawrence A & Angela M
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Norfolk VA 23504

Davis, Lisa Y
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Suffolk VA 23435-2457

Davis, Marjorie
6845 Osborne Tpke
Henrico VA 23231-5656

Davis, Michael D
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Norfolk VA 23504-0362

Davis, Michael D
362 Knells Ridge Dr
Chesapeake VA 23320-9330

Davis, Terrell R
4404 Cole Ave
Suffolk VA 23435-2457

Day, William Et Al
917 Scenic Blvd
Chesapeake VA 23322-7320

Delmar 15, Llc
2523 Azalea Point Rd
Norfolk VA 23518-4570

Deloach General Contracting Co., Llc
919 Anna St
Norfolk VA 23502-3313

Deutsche Alt-A Securities, Inc
1661 Worthington Rd Ste 100
West Palm Beach FL 33409-6480

Dew, John E Living Trust
7430 Spartan Ave
Norfolk VA 23518-4334

Dgv Holdings, Llc
825 Whisper Hollow Dr
Chesapeake VA 23322-9517

Diamond Falls, Llc
Po Box 68428
Virginia Beach VA 23471-8428

Dixon, Orna
908 Brookmont Ln
Chesapeake VA 23320-3235

Dm Real Estate, Llc
7436 Gambols Ln
Norfolk VA 23505-3114

Doggett, Harry J & Mary E
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Norfolk VA 23504-2444

Dolgia, Barbara
1302 Bolton St
Norfolk VA 23504-2803

Dowd, Ruby L
1459 Chapel St
Norfolk VA 23509-2544

Drew, Earl W Jr
1015 Saint Julian Ave
Norfolk VA 23504

Duckworth, Christopher
7912 Turner Rd Apt A
Norfolk VA 23518-2412

Dumitru, Rodica
725 Little Neck Rd
Virginia Beach VA 23452-5813

Duncan, Keith W & Brandy D
742 Johnson Ave
Norfolk VA 23504-2764

Duncan, Regina
1409 S Quincy St
Arlington VA 22204-4116

Dwm Properties, Llc
4065 Estates Ln
Portsmouth VA 23703-5458

Dysart, Thomas
1433 Chapel St
Norfolk VA 23504-2518

Dysart, Thomas E Et Al
Po Box 545
Norfolk VA 23501-0545

Eden Homes, Llc
222 W 21st St Ste F227
Norfolk VA 23523-2200

Edison/Bennett, Anita C
5193 Eagle Run Rd
Virginia Beach VA 23464

Edwards, Charles P Iii
6126 Lenoir Cir
Norfolk VA 23513-3348

Eight-79 Washington Avenue Llc
3901 Granby St
Norfolk VA 23504-1201

Eitii, Llc
Po Box 66098
Virginia Beach VA 23466

Eldridge, Lakeisha C
745 Johnson Ave
Norfolk VA 23504

Elite Designs Holding, Llc
3500 Virginia Beach Blvd
Virginia Beach VA 23452-4445

Ellington, Julius Jr & Gwendolyn
1041 Anderson St
Norfolk VA 23504-2501

Emamali, Farouk K Jordan
330 Stafford St
Norfolk VA 23523-1150

Ensley, Belinda
706 Howard Pl
Norfolk VA 23504-2722

Ensley, Bernard
894 A Ave
Norfolk VA 23504-2457

Ervin, Beverly
6530 Diesel Ct
Norfolk VA 23513-1912

Esarey, John G
904 Norview Ave
Norfolk VA 23513-3426

Eure-Barrington, Judy Et Als
3500 Fulcrum Ct
Chesapeake VA 23323-1246

Evans, Edward P
1401 Church St
Norfolk VA 23504-2414

Evans, Veida B Morton Et Als
2316 Ruffin St
Norfolk VA 23504-2130

Everett, Phyllis L
972 Goochland St
Norfolk VA 23504-2818

Evergreen Apartments, Llc
809 Professional Pl W Ste B101
Chesapeake VA 23320-3632

Ezeigbo, Michael C
2810 Mapleton Ave
Norfolk VA 23504-3722

Farrow, Antonio D & Ramona D
1014 Dunbar St
Norfolk VA 23504-2811

Faulk, Beatrice Estate
16633 89th Ave Apt 11k
Jamaica NY 11432-4237

Federal Nat'L Mtg Assoc
Po Box 650043
Dallas TX 75265-0043

Fentress, Cheryl D
869 Marietta Ave
Norfolk VA 23513-3125

Fentress, Terrance
864 Johnson Ave
Norfolk VA 23504-2720

Ferguson, Marcus A
3311 Vimy Ridge Ave
Norfolk VA 23509-1935

Ferro Building Company
1065 Rugby St
Norfolk VA 23504-2148

Fine Property, Llc
1640 Spring House Trl
Virginia Beach VA 23455-7004

Fisk, Rohil R Et Al
1300 Church St
Norfolk VA 23504-2709

Flexible, Inc
1121 S Military Hwy
Chesapeake VA 23320-2353

Flood, Vicki J
1400 E Brambleton Ave
Norfolk VA 23504-4310

Flowers, James M Et Al
878 Avenue A
Norfolk VA 23504-2457

Floyd, Robert & Vivian
951 Galt St
Norfolk VA 23504-2525

Forbes, Tara Et Als
1552 Eagleton Ln
Virginia Beach VA 23455-4234

Ford, Merly
1475 Chapel St
Norfolk VA 23504-2545

Fortunato, Nicholas & Sheida
2420 Virginia Beach Blvd Ste 116
Virginia Beach VA 23454-0000

Foxx, Julia Lee
5406 Bayberry Dr
Norfolk VA 23502-3607

Frazier, Barbara A
728 Washington Ave
Norfolk VA 23504-2443

Fred, Llc
Po Box 10475
Virginia Beach VA 23450-0475

Freeman, Deborah I W Et Al
753 Johnson Ave
Norfolk VA 23504-2737

Fuentes, Margarita Vera
1011 Rugby St
Norfolk VA 23504-2115

Gaines, Leonard A & Kay F
754 Johnson Ave
Norfolk VA 23504-2718

Gainey, Herman & Evelma
905 Lexington St
Norfolk VA 23504-2430

Gale, Sally
57 Kensington Park
Boston MA 02119-2221

Gandy, Orlando
893 B Ave
Norfolk VA 23504

Garris, Edwina L
1002 Dunbar St
Norfolk VA 23504-2811

Garvin, Beatrice
964 Washington Ave
Norfolk VA 23504-2557

Garvin, Beatrice J
972 Washington Ave
Norfolk VA 23504

Garvin, Beatrice J
964 Washington Ave
Norfolk VA 23504-2557

Garvin, Wayne T
946 Dunbar St
Norfolk VA 23504-2701

Garvin, Wayne T
827 Lexington St
Norfolk VA 23504-2426

Garvin, Wayne T Jr
1806 Bracey St
Norfolk VA 23504-2515

Garvin, Wayne T Jr & Pernell S
946 Dunbar St
Norfolk VA 23504-2701

Germany, James J & Aisha C
1045 Galt St
Norfolk VA 23504-2542

Germany, James J & Aisha C
1701 Hungers Parish Ct
Virginia Beach VA 23455

Glanum Group Llc
4500 Main St Ste 620
Virginia Beach VA 23462-3050

Glover, Rosalind J
5812 Lord Harrison Ct
Virginia Beach VA 23464-2217

Gomes, Louis & Sharon
887 Norview Arch
Norfolk VA 23513-3427

Gooding, Alvin D
701 Lexington St
Norfolk VA 23504-2426

Goodman, Wanda G
870 Johnson Ave
Norfolk VA 23504-2720

Goodwin, Jonathan W Et Al
720 Washington Ave
Norfolk VA 23504-2443

Gordon Properties, Llc
105 Downing Dr
Chesapeake VA 23322-8737

Goss, Rachel B
872 Fremont St
Norfolk VA 23504-2453

Graham, Kerry & D'Nita
3540 Daisy Cres
Virginia Beach VA 23453-2320

Gram, Llc
2001 Darden Ter
Portsmouth VA 23701-2923

Graves Investments Llc
1631 Church St
Norfolk VA 23504-2311

Gray, Diann
1312 Church St
Norfolk VA 23504-2709

Gray, Gary L & Denise S
726 B Ave
Norfolk VA 23504-2407

Gray, Geneva S
1722 Church St
Norfolk VA 23504-2314

Gray, Pearl D Life &
921 Sutton St
Norfolk VA 23504

Great Northern Trading Co, Llc
Po Box 448
Orlean VA 20128-0448

Green, Vivian F Et Als
41 St Johns Dr
Hampton VA 23666-4167

Green, Willie R & Angela M
1031 Anderson St
Norfolk VA 23504-2501

Greene, William E& Sallie L
1029 Anderson St
Norfolk VA 23504-2501

Griffin, Daniel Jr & Virgie
970 Saint Julian Ave
Norfolk VA 23504-2822

Griffin, Jacob Deal & Sarah Kaitlyn
839 Lexington St
Norfolk VA 23504-2428

Griffin, James M
16905 Mockernut Ct
Accokeek MD 20607-3433

Griffin, Jeanette H
16905 Mockernut Ct
Accokeek MD 20607-3433

Griffin, Mary Et Als
6852 Silverwood Ct
Norfolk VA 23513-1119

Griffin, Quince D Jr
1308 Simon Dr
Chesapeake VA 23320-7666

Grimes, Antionette M
1666 Hunter St
Norfolk VA 23504-2446

Grimes, Therman L & Monica L
750 A Ave
Norfolk VA 23504-2404

Grinston, Lucretia G
3246 Somme Ave
Norfolk VA 23509-1930

Gripp Holdings, Llc
7652 Gleneagles Rd
Norfolk VA 23505-1767

Gulf Stream Builders, Llc
3742 Surry Rd
Virginia Beach VA 23455-1633

Habitat For Humanity Of South
Hampton Roads, Inc
900 Tidewater Dr
Norfolk VA 23504-3328

Hackett, Charlotte D
732 Washington Ave
Norfolk VA 23504-2443

Hagen, Leandra E
943 Galt St
Norfolk VA 23504-2525

Hall, Dorothy E
855 Johnson Ave
Norfolk VA 23504-2719

Hall, Elizabeth
898 Washington Ave
Norfolk VA 23504-2444

Hall, Roger D & Melanie A
1317 Church St
Norfolk VA 23504-2708

Hall, Sabina R
857 Washington Ave
Norfolk VA 23504-2461

Halloway, Jane H
5705 Rayburn Dr
Camp Springs MD 20748-2249

Hamilton, Andre Allen
952 Gordon Ave
Norfolk VA 23504-2820

Hankerson, Karen
764 C Ave
Norfolk VA 23504-2436

Hankins, Edna Aleathea
201 Lenox Ave
Norfolk VA 23503-3517

Hankins, Jeanette L
16905 Mockernut Ct
Accokeek MD 20607-3433

Happy Rentals, Llc
4605 Pembroke Lake Cir Ste 101
Virginia Beach VA 23455-6411

Happy Rentals, Llc
1140 N Military Hwy Ste 804
Norfolk VA 23502-2523

Harold & Williams Development Co
2306 Westminster Ave
Norfolk VA 23504-4437

Harold, Kimberly M
1240 E Princess Anne Rd
Norfolk VA 23504-2953

Harold, Leavy Ent Iv, Llc
Po Box 4547 Attn Karen Dance
Richmond VA 23220-8547

Harper, Natisha N
1534 Dungee St
Norfolk VA 23504-2523

Harris, James A Jr
7459 Dakota Ave
Norfolk VA 23505-3163

Harris, Ruth C
1026 Barney St
Norfolk VA 23504-2510

Harrison, Samuel H
3620 Fenley Rd
Cleveland Heights OH 44121

Hart, Kenneth D
938 Sutton St
Norfolk VA 23504-2534

Hartley, Albert R Et Al Trs
1021 Eden Way N Ste 104
Chesapeake VA 23320-2776

Harvey, Devon
800 Prince Albert Ct
Norfolk VA 23454-3605

Harvey, Justina C
2120 General Booth Blvd # 103-339
Virginia Beach VA 23454

Harvey, Laoretta M
950 Sutton St
Norfolk VA 23504-2546

Hassell, Joseph J
2310 Ruffin St
Norfolk VA 23504-2130

Hassell, Lavern S
1441 Bolton St
Norfolk VA 23504-2804

Hasty, Goliath C
1267 Tidewater Dr
Norfolk VA 23504

Hathaway, Ameenah
3515 Lake Shore Rd S
Denver NC 28037-8235

Hawkins, Alphonzo & Jacqueline
714 23rd St
Newport News VA 23607

Hawkins, Cornelious L
875 Lexington St
Norfolk VA 23504-2428

Hawkins, Linda E
1641 Kingsway Rd
Norfolk VA 23518-4348

Hayes, Naketa G
958 Saint Julian Ave
Norfolk VA 23504

Hc&
2917 Hollister Ave
Norfolk VA 23504-3827

Heckstall, Kaneisha Q & Carolyn D
1805 Tidewater Dr
Norfolk VA 23504-2507

Helm, Tad
2222 E Berrie Cir
Virginia Beach VA 23455-1904

Hemingway, Jeffrey A
823 Lexington St
Norfolk VA 23504-2428

Hendricks, Robert L Sr & Barbara
1614 Loren Cres
Portsmouth VA 23701-3840

Herbert, Douglas L
Uss Enterprise # 65
Fpo AE 09543-2810

Hessong, Dwayne D & Kayla
1512 Church St
Norfolk VA 23504-2310

Hester, Quincey M & Daun S
3728 Wedgefield Ave
Norfolk VA 23502-4339

Hicks-Williams, Angela E
2909 Corprew Ave
Norfolk VA 23504-4110

High, Richard E Sr
760 Fremont St
Norfolk VA 23504-2417

Hill, Alice Et Al
875 Johnson Ave
Norfolk VA 23504-2719

Hines, Elverdias
1532 Dungee St
Norfolk VA 23504-2523

Hines, V Tanaia Deniece
752 Washington Ave
Norfolk VA 23504-2443

Holley, William
741 Lexington St
Norfolk VA 23504-2426

Holliday, Anthony L & Selmon A
1036 E 85th St
Brooklyn NY 11236-4230

Hollister, Dean A
725 A Ave
Norfolk VA 23504-2401

Holloway, Angela D
1366 Bolton St
Norfolk VA 23504-2803

Hollowell, William A & Bessie L
816 Fremont St
Norfolk VA 23504-2419

Home Ownership Development Llc
Po Box 64094
Virginia Beach VA 23467-4094

Hopkins, Gail E
816 Washington Ave
Norfolk VA 23504-2444

Horsey, Linda
912 Washington Ave
Norfolk VA 23504-2536

Howard, Moses J Jr
853 Lexington St
Norfolk VA 23504-2428

Howell, Phyllis
1025 Barney St
Norfolk VA 23504-2509

Hughes, Alice A & Esther A
844 Johnson Ave
Norfolk VA 23504-2720

Hughes, Latonya
3588 Ladd Ave
Norfolk VA 23502-4217

Huntersville Apartments Llp
Po Box 5127
Richmond VA 23220-0127

Hurst, Ellis L
1504 Church St
Norfolk VA 23504-2310

Hurst, Littleton M Jr
891 Lexington St
Norfolk VA 23504-2428

Hyman, Ronald R
1328 Church St
Norfolk VA 23504

Iag Properties Llc
904 Norview Ave
Norfolk VA 23513-3426

Imperial Constrction & Supply Co
856 45th St
Norfolk VA 23508-2008

J.A.M. Family Revocable Living Trust
416 Ivy Cres
Chesapeake VA 23325

Jabez Enterprises, Llc
1514 Springmeadow Blvd
Norfolk VA 23518-4814

Jackson, Brenda L
1812 Barre St
Norfolk VA 23504

Jackson, Patricia C Marital Trust Share
A
1514 James Lndg
Chesapeake VA 23321-1875

Jackson, Ronald & Azeb
5000 Dogwood Trl
Portsmouth VA 23703-3806

Jamison, Erma L
733 C Ave
Norfolk VA 23504-2410

Jans, Antony B & Tiffany R
1019 Anderson St
Norfolk VA 23504-2501

Jaworski, Brent D
1509 Mill Pond Arch
Virginia Beach VA 23456

Jay Investment Corporation
1001 Dunbar St
Norfolk VA 23504-2839

Jb Meld Lc
110 Maycox Ave Ste 10
Norfolk VA 23505-3433

Jbms, Llc
800 Clinton St
Virginia Beach VA 23464-1808

Jefferson-Nicholson, Toni
990 Galt St
Norfolk VA 23504-2506

Johnson Enterprises 803 Llc
2200 Covered Bridge Way
Virginia Beach VA 23454-2101

Johnson Enterprises 930 Llc
3205 Indigo Rd
Chesapeake VA 23325

Johnson, Belvonno R
1533 Dungee St
Norfolk VA 23504-2522

Johnson, Chaunta L
700 Howard Pl
Norfolk VA 23504-2722

Johnson, Geraldine S Life &
720 B Ave
Norfolk VA 23504-2407

Johnson, Joseph M & Michael D
971 Denhart St
Norfolk VA 23504-2807

Johnson, Larry P & Hester M
713 C Ave
Norfolk VA 23504-2410

Johnson, Peron
803 Washington Ave
Norfolk VA 23504-2461

Johnson, Samuel H & Lucille K
1014 Barney St
Norfolk VA 23504-2510

Johnson, Steven D & Sonya L
880 Johnson Ave
Norfolk VA 23504-2720

Johnson, William P
6625 Whitehorn Dr
Norfolk VA 23513-3038

Johnston, Alexander
8456 Sheldon Branch Pl
Toano VA 23168-9278

Jones, Anthony D & Patricia R
957 Goochland St
Norfolk VA 23504-2817

Jones, Erika G
2315 Barre St
Norfolk VA 23504-2003

Jones, Gina
933 Gordon Ave
Norfolk VA 23504-2819

Jones, La Verna
938 Gordon Ave
Norfolk VA 23504-2820

Jones, Rious J
516 Rapidan St
Portsmouth VA 23701-3324

Jones, Robin C
1436 Proescher St
Norfolk VA 23504-2530

Jones, Rudolph
305 Woodford Dr
Chesapeake VA 23322-4034

Jones, Stanford C
978 Galt St
Norfolk VA 23504-2506

Jordan, Shirley T
6431 Whittier Dr
Norfolk VA 23513-3327

Jz Properties, Llc
1014 Washington Dr
Chesapeake VA 23322-7548

Kahhal, Ramin
1267 W 37th St
Norfolk VA 23508-2413

Kellam, Mary Et Als
1814 Barre St
Norfolk VA 23504

Kenney & Kenney Inc
1836 Church St
Norfolk VA 23504-2331

Kern, Tuni C & Gabriela M
729 Fremont St
Norfolk VA 23504-2416

Kimora Consulting Contractors, Inc
4404 Cole Ave
Suffolk VA 23435-2457

Kingdom Restoration And Construction,
Llc
1121 Elder Ave
Chesapeake VA 23325-3013

Knight, Patricia E
6413 Sewells Point Rd
Norfolk VA 23513-3217

Knotts, Harvey W
831 Washington Ave
Norfolk VA 23504-2461

Komten, Llc
Po Box 545
Norfolk VA 23501-0545

Lacey, & Dwight M & Oneida R
Po Box 64714
Virginia Beach VA 23467-4714

Ladd, Lindsay
877 Fremont St
Norfolk VA 23504-2418

Lamb, Valenia E
918 Lexington St
Norfolk VA 23504-2431

Lambert, Carl Oliver Jr Et Al
2425 Rock Creek Dr
Chesapeake VA 23325-4636

Lambert, Horace
2135 Chesterfield Loop
Chesapeake VA 23323

Land, Mary
3305 Rainer St
Conway SC 29527-5841

Latham, Victor M Sr & Carolyn J
1819 Bracey St
Norfolk VA 23504-2515

Lee, Curtis & Michelle
1413 Church St
Norfolk VA 23504-2414

Lee, Elouise T
755 Fremont St
Norfolk VA 23504-2416

Lee, Ivy D
23 Michaels Woods Dr
Hampton VA 23666-5612

Lee, Jacquelyn P
1465 Chapel St
Norfolk VA 23504-2544

Lee, Joseph H
1773 Gravenhurst Dr
Virginia Beach VA 23464-8651

Lee, Lisa W
721 Lexington St
Norfolk VA 23504-2426

Lee, Wilbur
1271 Tidewater Dr
Norfolk VA 23504-2830

Lewis, Howard G Et Al
Po Box 7691
Norfolk VA 23509

Lewis, Inell M
761 C Ave
Norfolk VA 23504-2410

Lewis, Robert Henry Jr
756 A Ave
Norfolk VA 23504-2402

Lewis, Zelma E Et Al
16840 127th Ave
Jamaica NY 11434-3149

Liao, Yulin Et Al
3900 Bonney Rd
Virginia Beach VA 23452-2465

Lillard, Carlton & Phyllis
1151 Fairway Dr
Chesapeake VA 23320-9440

Lindh, Caleb A
737 Lexington St
Norfolk VA 23504-2426

Little, Linda M Et Al
912 Fremont St
Norfolk VA 23504-2421

Living Faith Church
1032 Philpotts Rd
Norfolk VA 23513

Lkk, Llc
865 Newtown Rd
Virginia Beach VA 23462-1144

Lloyd, Wallace C Et Al
710 Washington Ave
Norfolk VA 23504-2443

Lockamy, Tracy R & Ronald L Jr
5005 Mosby Rd
Virginia Beach VA 23455-2630

Long Ridge Homes, Llc
515 Pine View Ct
Chesapeake VA 23320-6706

Long, David L & April
839 Avenue C Ave
Norfolk VA 23504

Long, Johnnie J
949 Reservoir Ave
Norfolk VA 23504-3546

Long, Johnnie Jr
1525 Proescher St
Norfolk VA 23504-2531

Lotuaco, Remedios D
2408 Everglades Rd
Norfolk VA 23518-4530

Louis, Jean Lucien
649 Tappansee Ct
Virginia Beach VA 23451-4888

Luck, Eren M
870 B Ave
Norfolk VA 23504-2455

Lundy, Lorrie L
2411 Carona Ave
Norfolk VA 23504-2106

Lynch, Demetria K
826 Fremont St
Norfolk VA 23504-2419

M & L Property Management, Llc
2733 Bear Creek Ln
Chesapeake VA 23323-0820

M04les Hm Prop & Invest Rsrc Llc
3404 Muskrat Ct
Chesapeake VA 23323-1242

Mabine, Priscilla
967 Denhart St
Norfolk VA 23504-2807

Majette, Beverly B
1030 Galt St
Norfolk VA 23504-2528

Majette, Pamela & Hiram
Po Box 7445
Norfolk VA 23509-0445

Malone, Tony L Jr
816 B Ave
Norfolk VA 23504-2409

Malone, Willie
1804 Barre St
Norfolk VA 23504-2511

Maltby Ave Partners, Llc
588 Central Dr
Virginia Beach VA 23454-5296

Mangas, Mark
1027 Anderson St
Norfolk VA 23504-2501

Mangum, Walter R Jr
753 Washington Ave
Norfolk VA 23504-2442

Manigault, Leonetta
1815 Tidewater Dr
Norfolk VA 23504

Manley, Jake Sr & Audrey M Trs
416 Ivy Cres
Chesapeake VA 23325

Manley, Leon Et Als
966 Galt St
Norfolk VA 23504-2506

Mann, Deddie & Debbie W
1009 Galt St
Norfolk VA 23504-2527

Maplewoods Plaza, Llc
4800 Colley Ave Ste B
Norfolk VA 23508-2162

Maraton Properties, Llc
900 W 26th St
Norfolk VA 23517-1118

Martin, Lawanda F & Troy
1015 Galt St
Norfolk VA 23504-2527

Martin, Nathan A & Donna L
529 Longdale Cres
Chesapeake VA 23325-4415

Martinez A., Vilma Lorena
12498 Skipper Cir
Woodbridge VA 22192-2350

Martorella, Donna Rae & Dianna M
14123 Doe Court
Virginia Beach VA 23464

Mason Mem Ch Of God In Chr Tr
Po Box 1223
Norfolk VA 23501-1223

Mason, Glynis E W
831 Washington Ave
Norfolk VA 23504-2461

Mason, Robert D Et Als
203 Gainsborough Sq
Chesapeake VA 23320-3579

Mathews, Yvonne G
2445 Rankin Ave
Norfolk VA 23518-3216

May, Charlie T & Lula M
1004 Campos Pl
Norfolk VA 23523-2306

Mccleendon, Thomas G
828 Avenue A
Norfolk VA 23504-2404

Mcculley, Broderick B & Carolyn E
748 Avenue B
Norfolk VA 23504-2407

Mcdonald, Pamela S
716 B Ave
Norfolk VA 23504-2407

McFrazier, Damario & Shinta Jenkins-
745 Lexington St
Norfolk VA 23504-2426

McGill, Sylvia O
754 Lexington St
Norfolk VA 23504-2463

McGlone, Shirley D
517 Whitehaven Cres
Chesapeake VA 23325-4440

McIntosh Properties, LLC
Po Box 2513
Norfolk VA 23501-0213

McIntosh, Cheryl
979 Anna St
Norfolk VA 23502-3313

McClean, Bernadette
979 Denhart St
Norfolk VA 23504

McClean, Mary
412 Providence Rd
Chesapeake VA 23325-4603

McMahon, Joseph E & Checwanda A
5253 Lowery Downs
Virginia Beach VA 23464

McNair, Damon A
1316 Church St
Norfolk VA 23504-2709

McNair, Paula Ann Et Als
1005 Temple Ln
Newport News VA 23605-2437

McQueen, Sharon D
1120 Goff St
Norfolk VA 23504

Mealing, Kim R
1469 Proescher St
Norfolk VA 23504-2543

Medical Business Associates LLC
2539 Corprew Ave
Norfolk VA 23504-3909

Melander, Lydia
1376 Bolton St
Norfolk VA 23504-2803

Melton, James
1432 Bolton St
Norfolk VA 23504-2805

Melton, Teikeshia D
979 Rugby St
Norfolk VA 23504-2156

Melton, Teikeshia D
404 Lamp Post Dr
Chesapeake VA 23325-4616

Merrill, Willie & Carol
845 Fremont St
Norfolk VA 23504-2418

Merrill, Willie L & Carol N
1043 Galt St
Norfolk VA 23504-2542

Messi, LLC
1212 Lawrence Grey Dr
Virginia Beach VA 23455-5605

Miahtyler, LLC
208 E Plume St Ste 217
Norfolk VA 23510-1757

Miller, George Jr
905 Robert Welch Ct
Chesapeake VA 23320-0000

Miller, Henry T Et Al
724 Fremont St
Norfolk VA 23504

Miller, Patricia D
1719 Hunter St
Norfolk VA 23504-2424

Mims, Claire
738 B Ave
Norfolk VA 23504-2407

Mitchell, Allen
540 Providence Rd
Chesapeake VA 23325-4908

Mo4les Hms Prop & Invest Rsrc, LLC
3404 Muskrat Ct
Chesapeake VA 23323-1242

Molina, Alejandro
962 Goochland St
Norfolk VA 23504-2818

Montgomery Builders, Inc
5539 Brickell Rd
Norfolk VA 23502-3522

Moore, Anishka
756 Johnson Ave
Norfolk VA 23504-2718

Moore, Charonda L
966 Saint Julian Ave
Norfolk VA 23504-2822

Moore, Henry
1019 Barney St
Norfolk VA 23504-2509

Moore, Irene
982 Galt St
Norfolk VA 23504-2506

Moore, Jeffrey & Essie L
960 Galt St
Norfolk VA 23504-2526

Moore, Zina
761 Johnson Ave
Norfolk VA 23504-2737

Moorehead, Mildred Y
1512 Selden Ave
Norfolk VA 23523-1838

Morency, Frantz Et Al
1028 Galt St
Norfolk VA 23504-2528

Morgan, Taffare A
914 Lexington St
Norfolk VA 23504-2431

Morris, Jean
1832 E Lexington St
Norfolk VA 23504-2524

Mosely, Theresa
776 C Ave
Norfolk VA 23504-2436

Mount Gilead Missionary Baptis Ch
1057 Kennedy St
Norfolk VA 23513-1807

Mount Olive Baptist Church Trs
2401 Ludlow St
Norfolk VA 23504-0000

Msc Corporation
941 Edwin Dr
Virginia Beach VA 23464-3067

Muathe, Brian & Ivy
748 Washington Ave
Norfolk VA 23504-2443

Mullen, Timothy
2317 Barre St
Norfolk VA 23504-2003

Muluneh, Nega D & Woinshet A
5360 Achilles Dr
Virginia Beach VA 23464-2437

Murshid, Abdel
Po Box 11465
Norfolk VA 23517

N & W Rr
3 Commercial Place # 209
Norfolk VA 23510-2108

Nash, Harvey
736 Lexington St
Norfolk VA 23504-2463

Nash, Harvey
816 Lexington St
Norfolk VA 23504-2429

Nash, Harvey
736 Lexington St
Norfolk VA 23504

Nchotu, Winifred A & Mabel L
716 Fremont St
Norfolk VA 23504-2417

Neal, Andrew L Et Als
2116 Rock Creek Dr
Chesapeake VA 23325-4819

Neely, Marvin Et Als
1287 Bridle Creek Blvd
Virginia Beach VA 23464-8502

Neff, Christopher R
731 Johnson Ave
Norfolk VA 23504-2736

Network Bulding Center Llc
5588 Moores Pond Rd
Virginia Beach VA 23455-7107

New Creations, Llc
16905 Mockernut Ct
Accokeek MD 20607-3433

Newer Tide, Llc
2508 Longdale Ct
Chesapeake VA 23325-4314

Newman, Clifford Et Al
837 Fremont St
Norfolk VA 23504-2418

Nickerson, Kyle C & Letitia J
864 Washington Ave
Norfolk VA 23504-2444

Nixon, Ruby
987 Rugby St
Norfolk VA 23504

Norfolk Southern
110 Franklin Rd S E
Roanoke VA 24042-0002

Nowell, Mary Lee & Jerry
860 Johnson Ave
Norfolk VA 23504-2720

Nyuydine, Innocent K & Seraphine B
1003 Galt St
Norfolk VA 23504-2527

Oak Creek Capital, Llc
4718 Split Creek Ct
Chester VA 23831-4336

Oak Creek Capital, Llc
1016 Anderson St
Norfolk VA 23504-2502

Odom, Robyn
740 Washington Ave
Norfolk VA 23504-2443

Okeke, Michael T
5404 Malcolm Ct
Virginia Beach VA 23465

Okonkwo, James C & Laura Living Trust
1848 Garner Ln
Virginia Beach VA 23464-1697

Olds, Diane
721 C Ave
Norfolk VA 23504-2410

Ollison, Catalina A
353 Great Bridge Blvd
Chesapeake VA 23320-6805

Olney Development Llc
109 Gainsborough Sq # 118
Chesapeake VA 23320-1707

Oriole Associates, Llc
1121 S Military Hwy
Chesapeake VA 2332-2353

Our World Rentals Inc
1720 Brown Ave
Norfolk VA 23504-4405

Overton, Latia C Et Al
1008 Anderson St
Norfolk VA 23504

Oxford Investment Group, Llc
1209 Elder Ave
Chesapeake VA 23325-3015

P & P Development Llc
852 Tidewater Dr
Norfolk VA 23504

Paige, Wendell C Et Al
865 Lexington St
Norfolk VA 23504-2428

Painter, John H
5609 William And Mary Ct
Virginia Beach VA 23455-6604

Pankey, Eric L
12705 Bay Hill Dr
Chester VA 23836-2683

Papa Jake Productions, Llc
2420 Ocean Shore Cres Apt 202
Virginia Beach VA 23451-1290

Parker, Alene Et Als
2317 Barre St
Norfolk VA 23504-2003

Parker, Brian C
1131 Smith St
Norfolk VA 23510-3127

Parker, Gwenda A & Michael A
832 Fremont St
Norfolk VA 23504-2419

Parker, Mary V Et Al
2903 Sir Thomas Dr
Chesapeake VA 23321-4581

Parker, Michael Andre
834 C Ave
Norfolk VA 23504-2482

Parker, Stacie Armstead
850 E Virginia Beach Blvd Apt 403
Norfolk VA 23504-3233

Parker, Stacie L
2542 Blueberry Bank
Chesapeake VA 23325

Parker, Torian L & Amber J
726 Fremont St
Norfolk VA 23504

Pass, Anita S
872 Washington Ave
Norfolk VA 23504-2444

Patel, Parshottambhai & Anandiben
4033 Spring Grove Rd
Claremont VA 23899

Patterson, Mark T & Caletia C
1313 Church St
Norfolk VA 23504-2708

Payne, Angelique & Keron D
1028 Godfrey Ave
Norfolk VA 23504-3820

Peckinpaugh, Benjamin L
814 B Ave
Norfolk VA 23504-2409

Perera, Eric
3867 Giles Cir
Norfolk VA 23513-3448

Perera, Eric L & Srimali P
902 Lexington St
Norfolk VA 23504-2431

Perez, Lakia L
973 Goochland St
Norfolk VA 23504-2817

Perez, Nelly S
888 Lexington St
Norfolk VA 23504-2429

Perrin, Arthur & Arnetta
986 Galt St
Norfolk VA 23504-2506

Perry, Alexander E & Stephen
954 Goochland St
Norfolk VA 23504-2818

Peterson, Steven E & Lepeka
867 Lexington St
Norfolk VA 23504

Petrila, Alexandra L
12 Rivergate Dr
Poquoson VA 23662-1312

Phelps-Glasper, Florence Et Al
4025 Cedar Grove Cres
Chesapeake VA 23321-3107

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Phillips, Viola P
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5201 Lamprey Ct
Waldorf MD 20603-4218

Pierce, Samuel & Freda
1134 Goff St
Norfolk VA 23504-2816

Pigford, Marvin R
756 Washington Ave
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Pippins, John M Jr & Janice H
948 Saint Julian Ave
Norfolk VA 23504-2822

Porter, Miriam F
762 Lexington St
Norfolk VA 23504-2463

Portillo, Jose R
1561 Campostella Rd
Chesapeake VA 23320-5928

Potter, Thomas Et Als
412 Maiden Ln
Chesapeake VA 23325-4607

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2412 Lloyd Dr
Chesapeake VA 23325

Power House Inv Group, Llc
960 Saint Julian Ave
Norfolk VA 23504-2822

Precise Investments, Llc
1209 Baker Rd Ste 314
Virginia Beach VA 23455-3649

Preston, Lorenzo L & Glynniss L
1421 Church St
Norfolk VA 23504-2414

Pretlow, Edward B
934 Gordon Ave
Norfolk VA 23504-2820

Price, David F
1008 Dunbar St
Norfolk VA 23504-2811

Price, Nzingha J
1001 Denhart St
Norfolk VA 23504-2809

Pruitt, Elizabeth M
1520 Church St
Norfolk VA 23504-2310

Pursoo, Erin H & Jemmel A
6497 Cory Pl
Springfield VA 22150-1057

Quartz Financial, Llc
305 N Keith Rd
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Quash, Ullman D & Judith S
119 Lorna Doone Dr
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Quidley, Monise Et Als
6607 Thackwell Way Unit 2207
Kingstowne VA 22315

R&R Housing, Llc
1905 Kempsville Crossing Ln
Virginia Beach VA 23464-6943

Ramsey, James A Jr
3920 Plum Ln
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844 Johnson Ave
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Reid, Margaret & Darlene
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Norfolk VA 23504-2818

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812 Johnson Ave
Norfolk VA 23504-2720

Reynolds, Theresa
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Norfolk VA 23504-2407

Rfp Properties, Llc
9528 14th Bay St
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Rhinehart, Jaret & Angela N
111 Ridgeley Rd
Norfolk VA 23505-4605

Richardson, Joann
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Norfolk VA 23504-2442

Riddick, Cindileigh
1242 New Born Ct
Chesapeake VA 23322-8607

Riddick, Louis E & Marie C
1522 Dungee St
Norfolk VA 23504-2523

Riddick, Maurice L
896 Washington Ave
Norfolk VA 23504-2444

Riddick, Milton R & Ramonia A
1003 Dunbar St
Norfolk VA 23504-2810

Riddick, Paul R Et Als
765 Washington Ave
Norfolk VA 23504

Riddick, Spencer Jr
752 C Ave
Norfolk VA 23504-2462

Ridley, Glendon L
860 B Ave
Norfolk VA 23504-2455

Rinner, Sean P & Amy E
965 Rugby St
Norfolk VA 23504-2156

Rivers, Eric Lamar
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6276 Sandy Point Rd
Kinsale VA 22488-9608

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933 Gordon Ave
Norfolk VA 23504-2819

Robinson, Henrine W
879 A Ave
Norfolk VA 23504-2456

Robinson, Malindes G
715 Washington Ave
Norfolk VA 23504-2442

Robinson, Miranda
734 E 26th St
Norfolk VA 23504-1936

Robinson, Sylvia T
4075 Heutte Dr
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Virginia Beach VA 23464-3555

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Norfolk VA 23504-2504

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712 C Ave
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Roundtree, Lisa A
1524 Okeefe St
Norfolk VA 23504-2435

Rouse, Stacy
1524 Church St
Norfolk VA 23504-2310

Rout, Martha A & Penny Y
880 Lexington St
Norfolk VA 23504-2429

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117 Glascock Ct
Hampton VA 23666-1626

Royal Property Buyers, Llc Et Al
4410 E Claiborne Sq Ste 334
Hampton VA 23666-2074

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5404 Berry Hill Rd
Norfolk VA 23502-3631

Ruffin, Rudolph & Ozella
897 A Ave
Norfolk VA 23504-2456

Ruffin, Vernest Carlos
856 45th St
Norfolk VA 23508-2008

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861 A Ave
Norfolk VA 23504-2456

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Sadler, Donald L Jr
6604 Whitehorn Dr
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Samuel, Lloyd B & Janita M
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Norfolk VA 23504-2409

Samuel, Robin
1336 Church St
Norfolk VA 23504-2712

Sanderlin, Barbara C
952 Pollard St
Norfolk VA 23504-1932

Santamaria, Walter & Graciela
1412 Bolton St
Norfolk VA 23504-2805

Saunders, Valarie Y
1021 Wall St
Norfolk VA 23504-2127

Saunders, Wanda J
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Norfolk VA 23504-2810

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Norfolk VA 23504-2414

Scott, Marguerite O Et Al
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Norfolk VA 23509-2344

Scott, Pearline
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Norfolk VA 23504-2310

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Sft 2003, Llc
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Norfolk VA 23504-2803

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3510 Irvington Ct
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Shuttlesworth, Ted Evang Assoc Inc
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Virginia Beach VA 23462-3225

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Skinner, Shelton & Darlene H
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Norfolk VA 23504-2129

Smallwood, Prince Jr & Mary C
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Norfolk VA 23504-2128

Smith, Floyd Jr
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21 Appomattox Ave
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738 Fremont St
Norfolk VA 23504-2417

Smith, Marlene D Et Als
1045 Kenton Ave
Norfolk VA 23504-3613

Smith, Oliver & Patricia A
245 Windbrooke Ln
Virginia Beach VA 23462-7272

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Smith, Thomas Lee
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Spencer, Elouise Et Als
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Norfolk VA 23504-2418

Springer, Nadezda
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Springs, Thomas
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Norfolk VA 23504

Spruill, Brian A
818 C Ave
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Norfolk VA 23504

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Stewart, Monica Et Al
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Stone, Mamie T
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Norfolk VA 23504-2421

Sullivan, Maria R
3347 Morning Mist Ln
Toano VA 23168-9629

Summers, Rudolph
950 Pollard St
Norfolk VA 23504-1932

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Superior Pride, Inc
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Norfolk VA 23504-2819

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7436 Gambols Ln
Norfolk VA 23505-3114

Sweene, Nevin & Alyson
1830 Tidewater Dr
Norfolk VA 23504-2500

Sykes, Calvin F Sr & Heddy B Trs
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Tabron, Sarah F
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Norfolk VA 23504-2431

Tarn, Sandra Elizabeth & Mark Lee Et
Als
921 Joshua Dr
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Tatem, James Alfred Jr & Whitney
Michaelle Et Al
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Norfolk VA 23504-2155

Tatem, Robert M
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Norfolk VA 23504-2709

Tatem, Sean
892 Washington Ave
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Taylor, Andrew D
2326 Corprew Ave
Norfolk VA 23504-2131

Taylor, Angelo L & Sherron H
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Norfolk VA 23504-2803

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1309 Wilroy Rd
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The Runnymede Corp
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The Salvation Army Et Als
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The Supreme Club Inc
2313 Tidewater Dr
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Thehomemakers4u, Llc
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Norfolk VA 23502

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Norfolk VA 23504-2557

Tolbert, Elizabeth Et Al
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Norfolk VA 23504

Toro, Harry & Carmen
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Tynes, Richard W Jr Et Al
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Norfolk VA 23503-1767

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1200 Saint Julian Ave
Norfolk VA 23504-2615

United Order Of Tents
1622 Church St
Norfolk VA 23504-2347

United Order Of Tents Of J.R.
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1209 Elder Ave
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1810 Okeefe St
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Wansley, Elizabeth
1022 Anderson St
Norfolk VA 23504-2502

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1016 Barney St
Norfolk VA 23504

Warren, Lewis M
1449 Kilmer Ln
Norfolk VA 23502-2119

Waters, Shirley A
1019 Saint Julian Ave
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Watkins, Regina
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Wertz, Kenneth H Et Al
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West Tide, Llc
2508 Longdale Ct
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Whitehead, David J & Sharon K
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Norfolk VA 23504-2414

Whitehurst, Clarence L & Vanessa R
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Wiggins, Barney C & Celestine
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Wilkins, James A
1346 Church St
Norfolk VA 23504-2709

Williams, Alvin & Alice B
940 Anna St
Norfolk VA 23502-3314

Williams, Charles Jr & Jacqueline D
1807 Bower St
Norfolk VA 23504-2512

Williams, Cornell O Et Al
1409 Proescher St
Norfolk VA 23504-2529

Williams, Eleanor M
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Norfolk VA 23502-3314

Williams, Glenis G Et Al
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Winfield, Terrence M & Betti M
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Norfolk VA 23504-2541

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